

Planning Commission Regular Meeting January 16, 2024 7:00 p.m.

- 1. CALL MEETING TO ORDER
- 2. PLEDGE OF ALLEGIANCE
- 3. ROLL CALL
- 4. APPROVAL OF AGENDA
- 5. APPROVAL OF MINUTES
 - December 19, 2023, Regular Meeting

6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS

- A. Thering updates from Board of Trustees
- B. Buckley updates from ZBA
- C. Community and Economic Development Monthly Report
- D. Other Reports
- 7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda

8. NEW BUSINESS

- A. PRESPR23-03 Preliminary Site Plan Application for Valvoline Instant Oil Change Shop on the south side of E. Bluegrass Rd. west of Encore Blvd.
 - a. Introduction by staff
 - b. Updates from the applicant
 - c. Commission review of the site plan
 - d. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

B. PSUP23-01 Special Use Permit Application from Brent Curtiss for a Short-Term Rental at 5339 E. Broadway Rd

- a. Introduction by staff
- b. Presentation by the applicant
- c. Commission questions
- d. Commission deliberation and action to set a public hearing date

9. OTHER BUSINESS

- A. Continuation of a Process to Update the Master Plan and Parks & Recreation Plan
 - a. Updates from staff
 - b. Discussion by the Commissioners
- 10. EXTENDED PUBLIC COMMENT: Restricted to (5) minutes regarding any issue
- 11. FINAL BOARD COMMENT
- 12. ADJOURNMENT

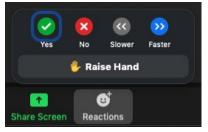
Hybrid Meeting Instructions for the Charter Township of Union Planning Commission

The public can view all Union Township meetings live by clicking on our <u>YouTube Channel</u>. For those who would like to participate, you can do so via Zoom.

<u>Click here</u> to participate in the Zoom Meeting via computer or smart phone. (Meeting ID Enter "839 8031 3172" Password enter "240465"). Access to the electronic meeting will open at 6:50 p.m. and meeting will begin at 7:00 p.m.

Telephone conference call, dial (312-626-6799). Enter "839 8031 3172" and the "#" sign at the "Meeting ID" prompt, and then enter "240465" at the "Password" prompt. Lastly, re-enter the "#" sign again at the "Participant ID" prompt to join the meeting.

- All public comments for items on the agenda will be taken at the Public Comment and any issue not on the agenda will be taken at the Extended Public Comment section of the Agenda.
- Computer/tablet/smartphone audience: To indicate you wish to make a public comment, please use the "Reactions" icon. Next, click on the "Raise Hand" icon near the bottom right corner of the screen.



- To raise your hand for telephone dial-in participants, press *9. You will be called on by
 the last three digits of your phone number for comments, at which time you will be
 unmuted by the meeting moderator.
- Please state your name and address for the minutes and keep public comments concise.

You will be called upon once all in-person comments have been made, at which time you will be unmuted by the meeting moderator.

Persons with disabilities needing assistance should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance can contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term					
#	F Name	L Name	Expiration Date		
1-BOT Representative	James	Thering	11/20/2024		
2-Chair	Phil	Squattrito	2/15/2026		
3-Vice Chair	Ryan	Buckley	2/15/2025		
4-Secretary	Doug	LaBelle II	2/15/2025		
5 - Vice Secretary	Tera	Albrecht	2/15/2024		
6	Stan	Shingles	2/15/2024		
7	Paul	Gross	2/15/2025		
8	Nivia	McDonald	2/15/2026		
9	Jessica	Lapp	2/15/2026		
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term					
#	F Name	L Name	Expiration Date		
1-Chair	Liz	Presnell	12/31/2025		
2 -Vice Chair	Richard	Barz	12/31/2025		
3- PC Rep	Ryan	Buckley	2/15/2025		
4 -	Lori	Rogers	12/31/2026		
5 -	Eric	Loose	12/31/2024		
Alt. #1	David	Coyne	12/31/2024		
Alt #2	Brian	Clark	12/31/2026		
	Board of Review (3 N	1embers) 2 year term			
#	F Name	L Name	Expiration Date		
1	Doug	LaBelle II	12/31/2024		
2	Sarvjit	Chowdhary	12/31/2024		
3	Bryan	Neyer	12/31/2024		
Alt #1	Randy	Golden	12/31/2024		
Co	nstruction Board of Appe	als (3 Members) 2 year te	rm		
#	F Name	L Name	Expiration Date		
1	Colin	Herren	12/31/2023		
2	Joseph	Schafer	12/31/2025		
3	Andy	Theisen	12/31/2025		
*Term begins 1/1/2024	William	Gallaher	12/31/2025		
Hannah's Ba	rk Park Advisory Board (2	Members from Township	2 year term		
1	Mark	Stuhldreher	12/31/2024		
2	John	Dinse	12/31/2025		
	Chippewa River District I	ibrary Board 4 year term			
1 Ruth Helwig 12/31/2027					
2	Lynn	Laskowsky	12/31/2025		



Board Expiration Dates

EDA Board Members (9 Members) 4 year term					
#	F Name	L Name	Expiration Date		
1-Chair	Thomas	Kequom	4/14/2027		
2-VC/BOT Rep	Bryan	Mielke	11/20/2024		
3	James	Zalud	4/14/2027		
4	Richard	Barz	2/13/2025		
5	Robert	Bacon	1/13/2027		
6	Marty	Figg	6/22/2026		
7	Sarvjit	Chowdhary	6/22/2027		
8	Jeff	Sweet	2/13/2025		
9	David	Coyne	3/26/2026		
Mid Michigan Area Cable Consortium (2 Members)					
#	F Name	L Name	Expiration Date		
1	Kim	Smith	12/31/2025		
2	vacan	t seat			
Cultural and Recreational Commission (1 seat from Township) 3 year term					
#	F Name	L Name	Expiration Date		
1	Robert	Sommerville	12/31/2025		
Mt. Pleasant Airport	t Joint Operations and Mg	mt Board (1 seat from Tov	wnship) 3 year term		
#	F Name	L Name	Expiration Date		
1 - Union Township	Rodney	Nanney	12/31/2026		
Mid Michigan A	Aquatic Recreational Auth	ority (2 seat from Townsh	ip) 3 year term		
#	F Name	L Name	Expiration Date		
1-City of Mt. Pleasant	John	Zang	12/31/2023		
2-City of Mt. Pleasant	Judith	Wagley	12/31/2025		
1-Union Township	Stan	Shingles	12/31/2026		
2-Union Township	Allison	Chiodini	12/31/2025		
1-Mt. Pleasant Schools	Lisa	Diaz	12/31/2024		
1-Member at Large	Mark	Stansberry	2/14/2025		
2- Member at Large	Michael	Huenemann	2/14/2025		

CHARTER TOWNSHIP OF UNION Planning Commission Regular Meeting Minutes

A regular meeting of the Charter Township of Union Planning Commission was held on December 19, 2023, at 7:00 p.m. at the Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present:

Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squattrito, and Thering

Excused: Buckley,

Others Present

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator; Tera Green, Administrative Assistant

Approval of Agenda

Albrecht moved **Shingles** supported to approve the agenda as presented. **Vote: Ayes: 8. Nays: 0. Motion Carried**

Approval of Minutes

Thering moved **Gross** supported to approve the regular meeting minutes from November 21, 2023, as presented. **Vote: Ayes: 8. Nays: 0. Motion carried.**

Correspondence / Reports/ Presentations

- A. Board of Trustees updates by Thering Announced that the Board of Trustees approved the 2024 Budget, gave an update on board appointments and reminded the commissioners to prepare for the April Joint Meeting.
- B. ZBA updates by Buckley No updates were given.
- C. Community and Economic Development Monthly Report
- D. Other Reports N/A

Public Comment

Open 7:08 p.m.
No comments were offered.
Closed 7:08 p.m.

New Business

A. Acceptance of the Annual Report of the Zoning Board of Appeals for 2023

- a. Introduction by Staff
- b. Planning Commission discussion
- c. Planning Commission action (accept the report as presented or with direction or questions to the Board of Appeals, or postpone action)

Community & Economic Development Director, Rodney Nanney presented the ZBA's 2023 Annual Report covering meetings held from December 2022 through November 2023.

Discussion by the commissioners. Some typographical errors were addressed to be fixed before in final form.

McDonald moved Gross supported to adopt the annual report to the Planning Commission of ZBA meetings held from December 2022 through November 2023 along with any recommendations regarding proposed changes to the Zoning Ordinance, as required by the ZBA Rules of Procedure. Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squattrito, and Thering. Nays: 0. Motion carried.

B. Adoption of the Planning Commission's 2023 Annual Report to the Board of Trustees

- a. Introduction by staff
- b. Planning Commission discussion
- c. Planning Commission action (adopt the report as presented or with changes, or postpone action

Peter Gallinat, Zoning Administrator, gave an in-depth overview of the Planning Commission Annual Report for 2023.

Discussion by the commissioners. Some typographical errors were addressed to be fixed before the final form goes before the Board of Trustees.

Shingles moved LaBelle supported to adopt the annual report to the Board of Trustees as required by the Michigan Zoning Enabling Act and the Planning Commission Bylaws. Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squattrito, and Thering. Nays: 0. Motion carried.

C. Proposed Zoning Ordinance Amendments

Rodney Nanney, Community & Economic Development Director and Peter Gallinat, Zoning Administrator, introduced and discussed a summary list of proposed Zoning Ordinance Text Amendments.

Discussion by the commissioners.

- D. Proposal to suspend meetings of and appointments to the Sidewalk and Pathways
 Prioritization Committee until called upon again by the Planning Commission, based on
 the extent of previously recommended sidewalk improvements that are anticipated to be
 developed by the Township in 2024 and 2025
 - a. Introduction by staff
 - b. Planning Commission questions and discussion
 - c. Planning Commission action

Rodney Nanney, Community & Economic Development Director, gave an update on the Sidewalk & Pathways Prioritization Committee for the next two years. Nanney recommends suspending the committee until needed again.

Discussion by the commissioners. Thering suggested that regular updates of the sidewalk projects would be helpful to keep from forgetting about the committee. Shingles was concerned that if a situation was presented regarding the sidewalks, there wouldn't be committee members available to meet if it is suspended. LaBelle wanted clarification that we had enough sidewalk projects to carry us through 2024 and 2025.

Thering moved Gross supported to suspend meetings of and appointments to the Sidewalk and Pathways Prioritization Committee until called upon again by the Planning Commission, based on the extent of previously recommended sidewalk improvements that are anticipated to be developed by the Township in 2024 and 2025. Roll Call Vote: Ayes: Albrecht, Gross, LaBelle, Lapp, McDonald, Shingles, Squattrito, and Thering. Nays: 0. Motion carried.

Extended Public Comments

Open: 8:21 p.m.

No comments were offered.

Closed 8:21 p.m.

Final Board Comment

Chair Squattirto – asked for a preview of January's agenda, asked for an update on the Master Plan and Parks and Rec Plan, inquired about a sidewalk on Broomfield Rd and wished everyone a happy and peaceful holiday.

<u>Adjournment</u> – Chair Squattrito adjourned the meeting at 8:28 p.m.			
APPROVED BY:			
		Doug LaBelle – Secretary	
(Recorded by Tera Green)		Tera Albrecht – Vice Secretary	



Department Monthly Report

Department: Community and Economic Development

Month/Year: December 2023

Global Ends

- 1.1 Community well-being and the common good
- 1.2 Prosperity through economic diversity, cultural diversity, and social diversity
- 1.3 Safety
- 1.4 Health
- 1.5 Natural environment
- 1.6 Commerce

Prior Month Activities

Economic Development Activities (1.1, 1.2, 1.3, 1.6):

- The Community and Economic Development Director and Building Services Clerk completed and distributed a Request for Bid for Landscaping Improvements for the East DDA District. (1.1, 1.6)
- The Building Services Clerk coordinated installation of the East DDA holiday decorations. (1.1, 1.6)
- The Building Services Clerk supported the Community and Economic Development Director and EDA Board and served as contact person for East DDA District service contractors.
- The Community and Economic Development Director joined Jim McBryde, President of the Middle Michigan Development Corporation and Brenda Flory, Business Development Manager for the Michigan Economic Development Corporation (MEDC) for tours and meetings with multiple Township businesses during the month. (1.6)

Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.4, 1.5, 1.6):

• During their regular December 19, 2023 meeting the EDA Board discussed the holiday contract with Hometown Decorations, which expired at the end of 2023. The general consensus of the board is to invite the current company to provide a new 3-year proposal for consideration. (1.1, 1.6)

Building Services (1.1, 1.2, 1.3, 1.4, 1.6):

- The Building Official provided the following services during the month:
 - o 19 Building Inspections (1.3)
 - o 8 Permits issued (1.3)
 - o 2 Certificate of Occupancy (1.3, 1.4, 1.5)
 - Follow up phone calls
- The Building Official met with multiple residents/contractors to answer potential project questions.
- The Building Services Clerk provided the following services during the month:
 - Served as a second Township Hall contact person for the public and helped process payments at counter and through mail.

- Assisted homeowners and contractors with building permit applications and coordinated with the Building Official, Zoning Administrator, Assessor, and Public Services Department as needed to facilitate timely reviews of permit applications.
- Administrative support for Rental Inspector
- o Prepared monthly Census and HBA reports for building permits

Rental Inspection Services (1.1, 1.2, 1.3, 1.4):

- Site visits with inspections or re-inspections at residential complexes, hotels, various single-family units, and other regulated premises (approx. 131 units).
- Inspections on apartment complexes & hotels (fire alarm and sprinkle report reviews).
- Expired certificate scheduling.
- Fielding questions about the rental program in the Township from the community, potential/current landlords, and tenants.
- Informing various departments of items that may be of concern or of note that have been observed throughout the Township (tall grass, construction without permits, site plan verifications, etc.).
- Contacts with local inspectors, enforcement, and fire personnel.
- Working through tenant complaints, working with both parties to get relief.
- Sharing with contacts about our updated Rental Housing Information webpage, as well as sharing the need to contact the office for items that may need other department insight or approvals.

Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5, 1.6):

- The Zoning Administrator provided the following services:
 - (2) Zoning review approval letters for building permit applications.
 - (2) sign permits for new freestanding signs at MFCU locations on E. Bluegrass Road and E. Broadway.
- The Community and Economic Development Director and Zoning Administrator met with representatives from Listening Ear about possible re-location of offices and other associated uses.
- The Community and Economic Development Director met remotely with representatives for the Valvoline Oil Change development project on E. Bluegrass Rd. to discuss options for resolving development-related challenges.
- The Community and Economic Development Director met remotely with representatives for the WalMart Addition and Site Improvements project to answer several site plan-related questions.
- The Zoning Administrator and Rental Inspector met with the owner of 5339 E. Broadway for a preapplication meeting about the short-term rental on the site.
- The Zoning Administrator conducted the final site inspection for Morey Courts at 5165 E. Remus Road. The contractor received notice of items to be addressed, and subsequently submitted a performance bond and timeline for when remaining corrections would be completed.
- The Zoning Administrator participated in a half-day professional development training in Lansing.

Ordinance Enforcement Activities (1.1, 1.3):

- 4373 E River Rd. Following a scheduled rental inspection for the annual recertification, the Rental Inspector determined that the subject property was unhabitable. A notice of violation and order for the rental dwelling to be vacated was sent to the owner and copied to the tenant. The dwelling was subsequently vacated. This matter is now closed.
- 5339 E. Broadway Rd. Rental property without required rental housing certification and special use permit for a short-term rental as advertised. The owner has applied for the necessary special use permit and for the required rental certification.
- 1805 Belmont Dr. Rental property without required rental housing certification and special use permit for a short-term rental as advertised. The owner has decided to cease the short-term rental

- activity, has secured a long-term tenant, and is working with a contractor to complete necessary safety and ingress/egress improvements to be eligible for rental certification. This enforcement matter will be closed as soon as the owner submits the required rental certification application.
- 2514 S. Isabella Road. (Liquor Central) Complaint about removal of required barrier free parking and signage. The owner responded to an initial notice of violation by reinstalling the signage but has not yet completed the space striping.
- Indian Hills Shopping Center Owner and contractor were notified of a possible violation related to the approved minor site plan for sidewalk, pedestrian access, and parking lot improvements to the Indian Hills Shopping Center property. The owner stated that they will address the issues with management and follow up with the Zoning Administrator. In addition, the Township has received multiple complaints about lighting issues in the parking lot. The owner has been made aware of the complaints and that the parking lot needs to be consistently lit for safety.
- 386 Bluegrass Road. Excessively tall grass and junk in the yard. The owner was notified of the violations and has mowed the grass. The owner is working with Township staff to complete the removal of junk from the premises.
- 5401 S. Lincoln Rd. Pole barn accessory building constructed without permits and in violation of maximum allowable height and floor area limitations. The ZBA approved a variance for the height violation with a plan to correct the total floor area violation. A building permit has been issued and the owner's contractor has stated that the work will be done before the building permit expires on 1/17/2024. The applicant and contractor have been notified that after civil infraction tickets will be issued if the work is not completed prior to permit expiration.
- Northeast corner of S. Lincoln Rd. and E. Broomfield Rd. unlawful contractor's storage yard and unlawful grading/fill activities without a grading permit. The owner claimed a "grandfathered" status as a legal nonconforming use. A meeting of the parties was held on 12/12/2023. This matter remains under review by the Township Attorney with additional follow up anticipated.

Planning Commission Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- During their regular December 19, 2023 meeting the Planning Commission:
 - o Reviewed and accepted the Annual Report from the Zoning Board of Appeals
 - Reviewed and approved the Planning Commission's Annual Report to the Board of Trustees
 - Adopted a motion to suspend meetings of and appointments to the Sidewalk and Pathways Prioritization Committee until called upon again by the Planning Commission, based on the extent of previously recommended sidewalk improvements that are anticipated to be developed by the Township in 2024 and 2025.
 - Discussed a list of proposed amendments to the Zoning Ordinance identified by staff, including updates to regulations for signs, solar and wind energy facilities, landscaping, and final site plan approval.

Zoning Board of Appeals Activities (1.1):

• The Zoning Board of Appeals meeting for December was cancelled due to a lack of agenda items.

Sidewalks, Pathways, and Parks & Recreation Plan/Program Activities (1.1, 1.2, 1.3, 1.4):

- No Sidewalks and Pathways Prioritization Committee activity in December. On 12/19/2023, the
 Planning Commission adopted a motion to suspend meetings of and appointments to the Sidewalk
 and Pathways Prioritization Committee until called upon again by the Planning Commission
- The data gathering phase of the 2023 Township survey of residents, which included a substantial number of parks and recreation-related questions, has been completed. Dr. Senter from CMU has reported a total of 624 completed paper surveys (32% response rate), along with over 80 additional digital survey responses to the postcard mailings sent to apartments, mobile home parks, and other

Township rental properties. The survey data is now being compiled and analyzed for preparation of a final report to the Township.

Other Activities:

• The Director meets weekly with the Community and Economic Development Department staff as a group and regularly on an individual basis to provide guidance, coordinate provision of services, ensure good intra- and inter-departmental communication, and identify and resolve issues. (1.1)

Current Month Anticipated Activities

Economic Development Activities (1.1, 1.6):

- The Community and Economic Development Director initiated a process with Consumers Energy to evaluate potential streetlight installations at the intersections of S. Lincoln Road with Independence Drive (0.3 miles south of E. Remus Rd./M-20) and with E. Broomfield Rd. Both are within the boundaries of the West DDA District. The E. Broomfield Rd. intersection was previously lit by an overhead 4-way stop signal that was removed as part of the county Road Commission's reconstruction project. The Independence Drive intersection is a truck entrance into an industrial area that needs better illumination for safety of turning movements.
- The Community and Economic Development Director will work with the Township Engineer at Gourdie-Fraser Associates to begin work on a detailed evaluation and prioritization of infrastructure improvements for potential new industrial/research/business park development along the US-127 corridor in accordance with the state Rural Readiness Grant awarded to the Township for our Master Plan update project.
- The Community and Economic Development Director will complete and distribute a request for qualifications from sign contractors with the capability to design and install a new gateway sign for the East DDA District to be located at the corner of M-20 and S. Summerton Rd. in cooperation with Mid-Michigan College and Consumers Energy, and to design and install new Enterprise Industrial Park signage at the corner of M-20 and Enterprise Dr.
- The Community and Economic Development Director accepted an invitation to speak at an upcoming Chamber of Commerce Referrals over Business gathering on 1/18/2024.
- The Community and Economic Development Director will attend the quarterly regional economic development (RED) Team meeting hosted by the East Michigan Council of Governments at SVSU on 1/19/2024.
- The Community and Economic Development Director plans to attend a two-day Michigan Downtowns Association Board of Directors Retreat on 1/25-26/2024.
- The Community and Economic Development Director will serve as Chair for the Mt. Pleasant Airport Joint Operations and Management Board meeting in January.
- The Community and Economic Development Director will continue business retention contacts.

Economic Development Authority (EDA) Board Activities (1.1, 1.2, 1.4, 1.5, 1.6):

The EDA Board will hold their first regular meeting of the year on January 16, 2024.

Building Services (1.1, 1.3, 1.4, 1.6):

- Inspections and follow up as needed for the new Isabella County Jail project. (1.1, 1.3)
- Follow up phone calls.
- Continue to do site visits, inspections, issue permits, plan reviews.
- Continued work on expired permit list.

Rental Inspection Services (1.1, 1.2, 1.3, 1.4):

- The Rental Inspector will:
 - Investigate and follow up on any rental complaints as needed.
 - o Continue to collaborate with the Fire Department on hotel rental inspections.
 - o Schedule complexes, hotels, as well as duplex and single-family units for inspections.
 - Conduct follow-up inspections to verify correction of violations.
 - Work on expired certificate scheduling as needed.
 - o Arrange for site visits as needed for compliance or informational.
- The Rental Inspector will be working on creation of a Township flyer with graphical examples of code requirements and common violations (such as blocked egresses and disabled smoke detectors or carbon monoxide detectors). (1.2, 1.3, 1.6)

Zoning Administration Activities (1.1, 1.2, 1.3, 1.4, 1.5, 1.6):

- The Community and Economic Development Director and Zoning Administrator will review the current Zoning Board of Appeals bylaws to coordinate with recent updates to relevant sections of Zoning Ordinance 20-06. (1.1)
- Community and Economic Development Director and Zoning Administrator review of site plan, special use, and other development applications and preparation of staff reports for the Planning Commission regarding Zoning Ordinance compliance.
- Zoning Administrator review of site plan applications eligible for administrative approval.
- Zoning Administrator review of building permits for zoning compliance.
- Zoning compliance letters
- Sign permits
- Continued use of MissDig notifications to catch activity in the Township needing zoning approval.
- Enforcement follow ups
- Yard sales
- Tall weeds and grass enforcement
- The Community and Economic Development Director and Zoning Administrator regularly hold informal pre-application development meetings with developers and business/property owners.

Ordinance Enforcement Activities (1.1, 1.3):

- 4941 E Valley Rd. Dilapidated and potentially unsafe dwelling. The owner confirmed that he
 wants the roof completed but does not have the funds. A contractor who is looking into options to
 help the owner resolve the violations.
- Ordinance enforcement follow up on current matters and investigation of any new complaints.

Planning Commission Activities (1.1, 1.2, 1.4, 1.5, 1.6):

- The regular January 16, 2024 Planning Commission meeting is anticipated to include:
 - PRESPR23-03 Preliminary Site Plan Review for Valvoline Instant Oil Change Shop located on the south side of E. Bluegrass Rd. west of Encore Blvd.
 - Introduction and presentation of a special use permit application for a short-term rental at 5339 E. Broadway Road.
 - o Continuation of a process to update the Master Plan

Zoning Board of Appeals Activities (1.1):

No meeting scheduled in January.

Sidewalks, Pathways, and Parks & Recreation Plan/Program Activities (1.1, 1.2, 1.3, 1.4):

- The Community and Economic Development Director and the Township's engineering consultant at Gourdie-Fraser are pursuing preliminary engineering and easements needed to prepare construction plans for new sidewalk projects along the:
 - o north side of Pickard Rd. east from S. Lincoln Rd. to the existing sidewalk near Ashland Dr.;
 - o east side of Bud St. north from E. Pickard Rd. to connect to Jameson Park;
 - o east side of S. Isabella Rd. from E. Kay St. south to E. Broadway Rd.; and
 - o south side of E. Bluegrass Rd. from S. Mission Rd. east across the frontage of the Red Lobster parcel to complete a connection to the Indian Pines Shopping Center.
- The Community and Economic Development Director plans to attend the 1/17/2024 meeting of the Cultural and Recreational Commission of Isabella County at the Isabella Sportsplex.

Other Activities:

• The Rental Inspector is using his photography skills to capture scenes from around the Township for the purpose of updating the Township website's photo gallery.

Future Board of Trustee Meeting Agenda Items

Significant Items of Interest Longer Term

- Other Activities Under the Community and Economic Development Director's direction, the Building Services Clerk will begin work to coordinate with the file scanning contractor Graphic Sciences to transfer historical zoning/planning/site plan documents and files from the basement for scanning. (1.1)
- Economic Development The Community and Economic Development Director will expand information on the Township's website related to development approval processes and preapplication meeting options to further assist the development community.
- Economic Development The Community and Economic Development Director and Middle
 Michigan Development Corporation representatives are continuing to evaluate a potential
 opportunity to apply for future grant funding from the U.S. Economic Development Administration
 to help support implementation of expanded industrial/business park development along the US127 corridor. Depending on eligibility, this grant opportunity would require collaboration with the
 City of Mt. Pleasant and the Saginaw Chippewa Indian Tribe.
- Zoning Administration The Community and Economic Development Director and Zoning Administrator plan to propose some additional updates to the sign regulations of Zoning Ordinance 20-06 to improve consistency in application and to minimize regulatory conflicts. (1.1)
- Economic Development The Community and Economic Development Director will prepare an
 updated summary document for the website outlining economic development programs and
 incentives available from the State of Michigan and our DDA Districts for various types of projects.
- Other Activities Consideration of a new 2023 2027 Parks and Recreation Master Plan for adoption, following a recommendation from the Planning Commission and a public hearing. (1.1, 1.2, 1.3, 1.4, 1.5)
- Building Services When the county's office situation stabilizes, the Community and Economic
 Development Director will resume working with the county Community Development Dept.
 Director to develop a draft reciprocal intergovernmental agreement proposal for Isabella County to
 provide for residential and commercial building inspection services during vacations. (1.1, 1.2, 1.3,
 1.6)

- Building Services The Community and Economic Development Director will follow up again with representatives from the Saginaw Chippewa Indian Tribe about building code and local ordinance enforcement questions related to the property at 5805 and 5935 E. Pickard Rd. acquired by the Tribe to become the new home of the Tribal College.
- Economic Development Possible future airport-related Zoning Ordinance changes to create a separate zoning district for the Mt. Pleasant Airport to expand options for airport-related business activities beyond the scope allowed under the current the AG (Agricultural) district. (1.1, 1.6)
- Building Services The Building Official continues to work in close coordination with the County's
 plumbing, mechanical, and electrical inspectors on building projects to minimize delays and to
 ensure that construction meets the applicable health and safety standards. (1.1, 1.3, 1.6)
- PILOT Housing Projects The Community and Economic Development Director will continue to
 oversee the administration of the Tax Exemption Ordinance and adopted PILOT resolutions in
 coordination with the Finance Director and Twp. Assessor to verify continuing compliance by the
 sponsors of the eligible housing projects. (1.1, 1.6)
- Other Activities Repeal of the outdated and unenforceable Ordinance 2011-4 for marihuana dispensaries and growing operations (1.1)
- Other Activities Consideration of new International Fire Code Ordinance for adoption, which
 would replace Ordinance No. 2014-05 and would reference the updated fire code to be enforced by
 the Mt. Pleasant Fire Department in both the City and the Township. (1.1, 1.3)
- Other Activities Consideration of an updated Private Road Ordinance for adoption. (1.1, 1.3)
- Other Activities Consider updates to the Township's ordinance on open burning. (1.1, 1.3, 1.4)
- Other Activities Consider updates to the Noxious Weeds Ordinance No. 1998-5 to improve consistency in applicable regulations of tall grass and weeds. (1.1, 1.3, 1.5)
- Other Activities Consider updates to the Subdivision of Land Ordinance No. 1994-6 for consistency with updates to the state's subdivision plat approval requirements. (1.1, 1.4, 1.6)
- Other Activities Consider updates to the Land Division Ordinance No. 1997-8 to clarify application requirements and the division, combination, and boundary adjustment approval process. (1.1, 1.6)
- Other Activities Consider ways to maximize the usefulness, readability, and functionality of the Township website's Announcements, Public Notices, and News features. (1.1, 1.2)
- Other Activities When the county's office situation stabilizes, the Community and Economic
 Development Director, the County's Community Development Director, and the City Planner will
 resume work on creating a unified "regional planning/zoning" theme on the County's FetchGIS
 website where County, City, and Township zoning district and future land use maps could be
 displayed together with other relevant data.

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan

Preliminary Site Plan

Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed De Common Description	•	roce (if issued)			
Applicant's Name(s)					
Phone/Fax numbers			Email		
					Zip:
Legal Description:	Attached	Included on Site Plan	Tax Parcel ID Nun	nher(s):	
Existing Zoning:	Land Acreage:			11501 (3).	
_	_	ect and how it conforms to		ards for Site Plan	n Approval)
7.1.7.6.122. 2010.	acounting the proje				.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Firm(s) or Individuals(s) who	1. Name: 2. Address:		Phone:	Email	
prepared site plan(s)	City:			State:	Zip:
Legal Owner(s) of	1. Name:			Phone:	
Property. All persons having legal interest in the	Address:				
property must sign this application.	2. Name:			Phone:	
Attach a separate sheet if more space is needed.	City:	Kolin E. Veck	St	ate:	·
	Signature:		Interes	st in Property: _	
true and accurate to t all the owners of the any permits issued pu	the best of my kno property. False or rsuant to site plan	ts, signatures, description wledge and that I am aut inaccurate information place approval and/or removal ions of the Zoning Ordinal	norized to file this ap aced upon this plan n of work installed. Ap	oplication and a nay be cause fo proval of this p	act on behalf of r revocation of lan shall not
2	olin E. Pup	5_			
Sig	gnature of Applica			Date	
		Office Use Or	ly		
Application Received I	Ву:		Fe	e Paid: \$	
Date Received:			Escrow Depos	it Paid: Ś	

Revised: 9/14/2020 016

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Valvoline

Name of business:		Valvoline
Name of business	s owner(s):	Valvoline
Street and maili	ing address:	100 Valvoline Way Lexington, KY 40509
Telephone: Fax:	937-507-	1820
Email:	Robin.ped	ck@valvoline.com
I affirm that the inform	nation submitt	ed is accurate.
Owner(s) signa	ture and date:	Molin Holin 10/26/2023
Information com	piled by:	
		WT Group

Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
MOTOR OIL		CIT	500 GAL	AGT, DRUMS
				EIXED TANKS
	KEY:			KEY:
	LiQ. = liquid			AGT = above ground tank
	P.LIQ = pressurized liquid			DM = drums
	II			UGT = underground tank
	G = gas			Cy = cylinders
	PG = pressurized gas			CM = metal cylinders
				CW = wooden or composition
				container
				TP = portable tank

- 1. The applicant is legally authorized to apply for site plan approval, and all required information has been provided.
 - a. Confirmed.
- 2. The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.
 - a. No variances are sought for this development.
- 3. The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.
 - a. This development is Harmonious in that this is a commercial use permitted along a commercial corridor. Similar to the use half mile east as to xx tire business.
- 4. The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.
 - a. The overall development is greater than 80 percent paved. Our outlet is relatively flat and we will reduce the amount of imperious. Existing grades will be maintained.
- 5. Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible
 - a. Such soils do not exist on our site, our site is a pad ready site and ready for construction.
- 6. The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity
 - a. This is an approved out lot as part of the overall development and existing utilities occur within close proximately of the site.
- 7. Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.
 - As an approved outlot of this development the 8' wide public sidewalk along Bluegrass Rd. will be extended approx. 720 feet west. In addition the public watermain will be extended to the west.
- 8. Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.
 - a. This proposal is one of the later phases and therefore an access road and utilities are all available to the site.

EXHIBIT "A" LEGAL DESCRIPTION

Land Situated in the State of Michigan, County of Isabella, Township of Union.

A Parcel of land to be determined from the following:

Part of the Southwest 1/4 and part of the Southeast 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 1568.51 feet

from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line,1062.06 feet; thence South 02 deg. 35' 08" West, 1158.58 feet; thence South 87 deg. 15' 30" East, parallel with said East-West 1/4 line, 935.88 feet; thence South 02 deg. 54'

01" West, 353.63 feet; thence North 87 deg. 15' 30" West, 576.12 feet; thence South 02 deg. 54' 01" West, parallel to the North-South 1/4 line, 1156.25 feet to the South Section line;

thence North 87 deg. 01' 00" West, along said South Section line, 326.65 feet to the South 1/4 corner of said Section 26; thence North 87 deg. 04' 43" West, along said South section line, 804.49 feet to the North right of way line of US-127

B.R.; thence along said North right of way line of US-127 B.R., 333.76 feet along a 3684.72 foot radius curve to the right, having a long chord bearing of North 52 deg. 52' 41" West, 333.64 feet; thence North 02 deg. 24' 38" East, 2476.47 feet back to the Place of beginning.

Except the following parcels:

1. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 351.25 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 921.02 feet; thence South 87 deg. 24' 52" East 978.18 feet; thence North 02 deg. 35' 08" East 921.00 feet; thence North 87 deg. 24' 52" West 980.99 feet back to the place of beginning.

2. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 1272.26 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 757.49 feet; thence South 87 deg. 24' 51" East 843.61 feet; thence 274.87 feet along a 260.00 foot radius curve to the left, having a long chord bearing of North 32 deg. 52' 18" East 262.25 feet; thence North 02 deg. 35' 08" East 531.04 feet; thence North 87 deg. 24' 52" West 978.18 feet back to the Place of Beginning.

3. Parcel A: Part of the West 20 acres of the Southeast 1/4 and that part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 2630.59 feet and South 02 deg. 35' 08" West, 1539.79 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 35' 08" West, 260.33 feet;

thence 163.23 feet along a 340.00 foot radius curve to the right, having a long chord bearing of South 16 deg. 20' 21" West, 161.67 feet; thence 51.20 feet along a 38.00 foot radius curve to the left, having a long chord bearing of South 08 deg. 30' 15" East, 47.41 feet; thence South 47 deg. 06' 04" East, 79.22 feet; thence North 02 deg. 24' 38" East, 27.49 feet; thence South 87 deg. 35' 22" East 89.50 feet; thence South 02 deg. 24' 38" West, 103.89 feet; thence South 47 deg. 06' 04" East, 41.29 feet; thence 226.75 feet along a 460.00 foot radius curve to the left, having a long chord bearing of South 61 deg. 13' 23" East 224.46 feet to the East line of the West 20 acres of the Southeast 1/4; thence North 02 deg. 54' 01" East, along said East line of the West 20 acres of the Southeast 1/4, 717.08 feet; thence North 87 deg. 24' 52" West, 357.67 feet back to the place of beginning.

4. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet; thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet to the true place of beginning of the following described right of way; thence 72.65 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet; thence North 37 deg. 36' 16"

East, 302.04 feet; thence 297.48 feet along a 310.00 foot radius curve to the right, having a long chord bearing of North 65 deg. 05' 43" East, 286.19 feet; thence South 87 deg. 24' 51" East, 152.13 feet; thence 191.82 feet along a 543.50 foot radius curve to the left, having a long chord of North, 82 deg. 28' 30" East, 190.83 feet; thence 95.63 feet along a 340.00 foot radius curve to the left, having a long chord bearing of North 62 deg. 31' 58" East, 95.31 feet; thence North 35 deg. 00' 12" West, 80.00 feet back to the Place of Beginning.

5. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West,

Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet; thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet; thence along the Northerly right of way of a proposed permanent 80 foot wide right of way on the following five courses: 72.65 feet along a 260.00 foot radius cure to the right, having a long chord bearing South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet to the true Place of Beginning of the following described clear vision right of way; thence continuing along said Northerly right of way line of U.S. 127 B.R. 200.62 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 53 deg. 17' 07" East, 200.60 feet; thence North 07 deg. 40' 11" West, 282.31 feet to the Southerly right of way line of a proposed permanent 80 foot wide right of way; thence South 37 deg. 36' 16" West, along said Southerly right of way line, 201.78 feet back to the place of beginning.

Also excepting therefrom the following described parcel:

Part of the Northeast 1/4 of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, State of Michigan, described as: Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 2288.73 feet from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line, 261.85 feet to the West right of way line of Encore Drive; thence South 02 deg. 35' 08" West, along said West right of way line of Encore Drive, 348.33 feet; thence North 87 deg. 24' 52" West, 261.85 feet; thence North 02 deg. 35' 08" East, parallel to said West right of way line of said Encore Drive, 349.11 feet back to the place of beginning, as deeded in Liber 1525, Page 430, and corrected in Liber 1526, Page 837, Isabella County Records.

S. Standards for Site Plan Approval.
In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Pan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	•	•	•
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	•	•	•
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			•
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	•	•	•
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		•	•
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		•	•
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	•	•	•
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		•	•
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		•	•
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		•	•
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			•
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			•
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	•		•
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	•		•
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	•		•
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			•
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			•
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	•		•



Site Plan Review Process:

Contact Information for Outside Agencies

Required Agency Contact Information

Mt. Pleasant Fire Department

Lt. Brad Doepker 804 E. High St.

Mt. Pleasant, MI 48858 Office: 989-779-5122 Cell Phone: 989-506-1442.

Email: bdoepker@mt-pleasant.org

Gourdie-Fraser Associates – Stormwater

Management

Jennifer Graham, PE 123 W. Front Street Traverse City, MI 49684 (231) 946-5874 (office) (231) 946-3703 (fax) (231) 313-4861 (cell) Email: jennifer@gfa.tc

<u>Charter Township of Union Department of</u> Public Services

Kim Smith, Public Works Department Director 5228 South Isabella Road Mt. Pleasant, MI 48858 Phone (989) 772-4600 ext. 224 Fax (989) 773-1988 ksmith@uniontownshipmi.com

Isabella County Road Commission

Patrick J. Gaffney, PE, Engineer Superintendent 2261 E. Remus Rd. Mt. Pleasant, MI 48858 989-773-7131 x115 989-772-2371 fax pgaffney@isabellaroads.com

Isabella County Transportation Commission

Rick Collins, Executive Director 2100 E. Transportation Dr. Mt. Pleasant, MI 48858 Phone 989-773-6766 Fax 989-773-1873 rcollins@ictcbus.com

Optional Agency Contact Information

Michigan Transportation Department (Only required when work done in M-20 ROW) *

Ben Burrows
Mt. Pleasant TSC
1212 Corporate Drive
Mount Pleasant, MI 48858
989-775-6104 ext. 305
burrowsb@michigan.gov

City of Mt. Pleasant - Division of Public Works

(Only required for Mt Pleasant city water/sewer) *

Stacie Tewari, P.E., LEED® AP City Engineer 1303 N. Franklin Avenue Mt. Pleasant, MI 48858 Phone: 989.779.5404 Fax: 989.772.6250 stewari@mt-pleasant.org

<u>Isabella County Soil Erosion & Sedimentation</u>

Control

200 N. Main St.

Mt. Pleasant, MI 48858

989-317-4061

Central Michigan District Health Department

2012 E. Preston

Mt. Pleasant, MI 48858

989-773-5921

<u>DTE</u>

111 E. Pickard St. Mt Pleasant, MI 48858 989-772-9061

Miss Dig

1-800-482-7171

Lormax Stern Development Company

Date: 10/30/2023

Reference:	Valvoline Bluegrass Rd, 1 Lot west of Encore Drive Charter Township of Union Mt. Pleasant, MI 48858				
To Whom It May C	Concern:				
correspondence	s letter as authorization for WT Group, to act as agent in and representation of all approval and permitting matters Valvoline at the location referenced				
If you have any questions, please contact me at: 248-890-7575 or abell@lormaxstern.com					
Sincerely,					
Andrew Bell Managing Director					

Mount Pleasant Holdings, LLC 200 W. Michigan Avenue, Suite 201 Kalamazoo, MI 49007

Date: 12/12/23	
Reference:	Valvoline Bluegrass Rd, 1 Lot west of Encore Drive Charter Township of Union Mt. Pleasant, MI 48858
To Whom It May C	Concern:
	s letter as authorization for WT Group, to act as agent in and representation of all site plan approval matters required Valvoline at the location referenced above. (insert job name here)
If you have any q	uestions, please contact me at (269) 383-5775.
Sincerely,	
Mount Pleasant H	oldings, LLC
By: Manager 211,	LLC, its Manager
Connor sampson,	Authorized Agent

PURCHASE AND SALE AGREEMENT

THIS PURCHASE AND SALE AGREEMENT ("Agreement") is made and entered into as of February 15, 2023 by and between Mount Pleasant Holdings, LLC, a Michigan limited liability company, whose address is 200 West Michigan Avenue, Suite 201, Kalamazoo, Michigan 49007 ("Seller") and Lormax Stern Development Company, LLC, a Michigan limited liability company, whose address is 38500 Woodward Avenue, Suite 200, Bloomfield Hills, Michigan 48304 ("Buyer"); provided, however, that Buyer shall have the right to assign this Agreement to any entity that is owned or controlled by Buyer or any principal of Buyer. The "Effective Date" of this Agreement is the date that this Agreement is fully executed by both Buyer and Seller.

- 1. Purchase and Sale. Seller owns the land in Union Township, Isabella County, Michigan, commonly known as 4244 E. Blue Grass Road as described in Exhibit A attached hereto (the "Overall Parcel"). The Overall Parcel is identified as Parcel 3 in Exhibit A, which is subject to land division. Subject to the terms, covenants, and conditions of this Agreement, Seller agrees to sell to Buyer, and Buyer agrees to purchase from Seller the following: (a) that portion of the Overall Parcel more particularly described in Exhibit B (the "Property") and as generally depicted in Exhibit C; (b) all right, title, and interest of Seller in and to (i) any strips and gores adjoining or adjacent to the Property to the north, south, and east, and in and to any land lying in the bed of any street, road, avenue, way or boulevard, open or proposed, in front of or adjoining the Property to the north, south, and east, whether or not legally described above; (ii) any award for damage to the Property by reason of any change of grade in any street, road, avenue, way, or boulevard; (iii) any pending or future award made in condemnation or in lieu thereof; and (iv) all rights, easements and interests, water, air and mineral rights, streets, public ways or rights-of-way, privileges, tenements, hereditaments, improvements, licenses, appurtenances, and other rights and benefits belonging or in any way related or appurtenant to the Property.
- (the "Purchase Price"), which shall be paid at the Closing (defined below), subject to adjustments and prorations set forth herein. Within five (5) days after the Effective Date, Buyer shall deposit the sum (the "Earnest Money") with Title Connect LLC, whose address is 28470 W. 13 Mile Rd., Suite 325, Farmington Hills, Michigan 48334 (the "Title Company"), which shall be held by the Title Company pursuant to this Agreement, and which shall be applicable to the Purchase Price. The Earnest Money shall remain fully refundable to Buyer until: (i) Seller obtains land division approval from Union Township and any other applicable governing authorities in accordance with the Land Division Act, Act 288 of the Public Acts of 1967 (the "Act") and local laws and regulations to divide the Property from the Overall Parcel; and (ii) the expiration of the Inspection Period as defined hereinafter.
- **3. Property Information.** Seller has previously provided to Buyer or will provide copies of the following (the "**Property Information**") upon Buyer's reasonable request:
- (A) Easements with Covenants and Restrictions Affecting Land recorded in Liber 1327, Page 250, as amended by a First Amendment recorded in Liber 1344, Page 297, and a Second Amendment recorded in Liber 1894, Page 4878;
- (B) Declaration of Easements, Covenants, Conditions and Restrictions recorded in Liber 1525, Page 406;
- (C) Agreement regarding Utility Extensions and Access Drive recorded in Liber 1525, Page 434;
- (D) Phase I Environmental Site Assessment prepared by Phillips Environmental Consulting Services, Inc., date January 18, 2010, Project No. 30-1315-10;

- (B) During the Inspection Period, Buyer, at its expense, may obtain a Phase I Environmental Assessment, and if recommended by Buyer's environmental consultant, a Phase II Environmental Assessment in accordance with a work plan approved by Seller, such approval shall not be unreasonably withheld. All environmental information obtained by the Buyer concerning the Property shall be held in confidence and will not be disclosed before the Closing without Seller's express prior written permission except to (i) Buyer's employees, agents, and other authorized representatives and to Buyer's environmental consultant, lender, accountant and legal counsel, each of whom will also keep such information confidential, and (ii) as otherwise required by law. Buyer may not file a Baseline Environmental Assessment before the Closing without Seller's express prior written consent.
- During the Inspection Period, Buyer shall have the right to pursue any permits, licenses, (C) approvals, as Buyer may determine necessary for its intended use of the Property as an oil change or tire facility including, without limitation, zoning and land use approvals, site plan approvals, and sign approvals (collectively, "Governmental Approvals"); provided, however, that Buyer shall not be entitled to effectuate a re-zone of the Property prior to the Closing. Buyer's rights and Seller's obligations concerning the application for any Governmental Approvals shall be subject to the following: (i) Seller shall reasonably cooperate with Buyer in connection with Buyer's Governmental Approvals, provided that Seller shall not be required to incur any expenses in connection therewith; (ii) all applications or submissions for any re-zoning shall be subject to Seller's timely review and approval before submittal to any governmental or quasi-governmental body, which shall not be unreasonably withheld; and (iii) in no event shall any Governmental Approvals be effective against the Property before the Closing. In connection with clause (i) of the preceding sentence, Seller will (a) sign and consent to instruments reasonably required for the Governmental Approvals (provided the same are acceptable to Seller in its business discretion), (b) furnish evidence of ownership of the Property; and (c) appear at municipal or administrative hearings as necessary at the reasonable request of Buyer. Buyer covenants and warrants that it shall not seek any Governmental Approvals, except in strict accordance with this paragraph. Buyer agrees to indemnify and hold Seller harmless from any liability, claim, damage or cost (including Seller's reasonable attorney fees) caused by Buyer's breach or threatened breach of the foregoing covenant and/or warranty. Buyer's indemnity obligations shall survive the termination of this Agreement. Notwithstanding anything herein to the contrary, Seller shall not be deemed unreasonable in withholding (and Seller shall have the right to withhold) consent to any rezoning or support any effort to obtain any Governmental Approval if Seller, in its sole business discretion, determines that the requested zoning or Governmental Approval is incompatible with the zoning and/or use or future development of any other property in about the Bluegrass Mall shopping center owned by Seller or if any site plan materially deviates from the site plan attached hereto as Exhibit D.

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

Но	w Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes	No □X
1)	Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Υ□	ΝĎ
2)	Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Υ□	N∰
3)	Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
	a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?b. Does the project involve dredging, filling, grading, or other alteration of the soil,	Υ□	N∰
	vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Υ□	N∰
	c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Υ□	ΝŽ
	d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y□	N
4)	Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Υ□	N∰
5)	Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and <u>Drinking Water & Environmental Health</u> <u>Division</u> (DWEHD), 517-284-6524	Y∐ઁ	N
6)	Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff), 906-228-4527, or EGLE District Office	Υ□	ΝĽ
7)	Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program, 517-284-6541, or EGLE District Office	Υ□	ΝĎ
8)	Does the project involve the construction or modification of a campground? Union Township and DWEHD,Campgrounds program, 517-284-6529	Υ□	ΝĽ

9)	Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Υ□	N⊉
10)	Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Υ□	N∰
Wh	o Regulates My Drinking (Potable) Water Supply?		
11)	I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y☐¥	N
12)	I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local</u> <u>Health Department</u> , 517-485-0660	Y	NĀ
13)	I am a community water supply (Type I) <u>Community Water Supply, DWEHD District Office</u> <u>Community Water Supply Program</u> , 517-284-6512	Υ□	NĀ
14)	Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Υ□	N∄
Wh	o Regulates My Wastewater Discharge System?		
15)	NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Υ□	N∰
16)	Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE</u> <u>District Office</u> , 517-284-5588	Y	N∰
17)	Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Υ□	N∰
18)	Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Υ□	ΝŽ
Wh	at Operational Permits Are Relevant to My Operation and Air Emissions?		
19)	Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section, 517-284-6634	Y	NĀ
20)	Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	Υ□	NÀ
Wh	at Operational Permits Are Relevant to My Waste Management?		
21)	Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD, 517-284-6588 or EGLE District Office	Υ□	N∄
22)	Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	ΥÄ	N□
23)	Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Hazardous Waste Program Forms & License Applications</u>) MMD, <u>EGLE District Office</u> , 517-284-6562	Υဩ	N

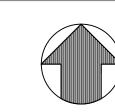
24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit, 517-284-6581	Y□	N⊠
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit, 517-284-6581	Y	N∄
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program, 517-284-6594	Υ□	N
What Sector-Specific Permits May be Relevant to My Business?		
Transporters 27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste?	Υ□	NØ
MMD, <u>Transporter Program</u> , 517-284-6562 28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y □X	N□
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information, 517-284-6527	Y□	N∰
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y□	N∰
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <u>Scrap Tire Program</u> , 517-284-6586	Υ□	ΝŽ
<u>Sectors</u>		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Υ□	NIX
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Υ□	ΝĎ
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming</u> Pools Program, 517-284-6529	Υ□	N∯
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y	N∰
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control, 517-284-5593	Υ□	N⊠
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Υ□	NŽ

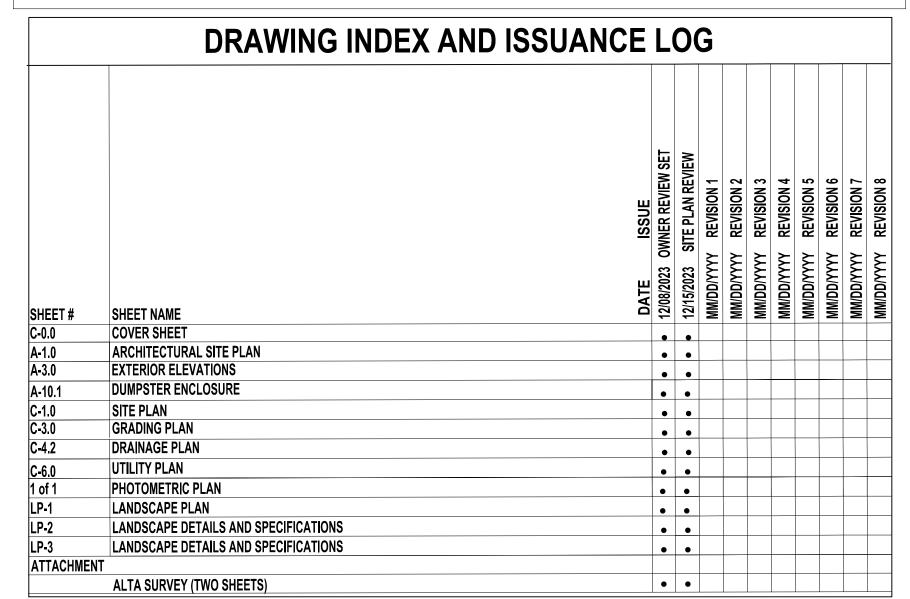
Why would I be subject to Oil, Gas and Mineral Permitting?							
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit, 517-284-6826	Υ□	N∄					
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program, 517-284-6826	Υ□	ΝŽ					
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs, 517-284-6581	Υ□	N□K					
Petroleum & Mining, OGMD, 517-284-6826							
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Υ□	NI					
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Υ□						
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?		N[X] N[X]					
44) Does the project involve mining coal?	Υ□						
45) Does the project involve changing the status or plugging of a mineral well?	Υ□	N⊡¥					
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Υ□	N⊒X					

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841

National Flood Hazard Layer FIRMette SITE Limit of Study --- Coastal Transect Baselin Basemap Imagery Source: USGS National Map 2023

FLOOD INSURANCE RATE MAP (N.T.S.)





THIS SET OF DRAWINGS IS BASED ON THE 2023 Q4 DESIGN STANDARDS

GEOTECHNICAL ENGINEER:

GILES ENGINEERING ASSOCIATES

N8 W22350 JOHNSON DRIVE, SUITE A1 WAUKESHA, WI 53186

(262) 544-0118

PROJECT NO. 1G-2307002, AUGUST 23, 2023

1. WHEN IN CONFLICT, CITY DETAILS AND/OR SPECIFICATIONS TO PREVAIL. 2. REFER TO THE ALTA SURVEY FOR BENCHMARK INFORMATION.

SURVEYOR

NOTE

ALTA/ACSM LAND TITLE SURVEY

CESO INC.

3601 RIGBY RD., SUITE 300 MIAMISBURG, OHIO 45342 (937) 435-8584 PROJECT NO. 762842

ZONING SUBMITTAL



4448 E. BLUEGRASS CHARTER TOWNSHIP OF UNION ISABELLA COUNTY, MI 48858 ZONING: B5



LOCATION MAP (N.T.S)



CONTACTS:

Lexington, KY 40509

Ryan R. Triphahn

MEP ENGINEERS WT GROUP

Mark Ventrelli, PE

2675 Pratum Avenue

Bus: (224) 293-6333

Hoffman Estates, IL 60192

Mount Pleasant, MI 48858

DRAINAGE & STORMWATER

Charter Township of Union

Traverse City, MI 49684

Bus: 231-946-5874

MANAGEMENT

Jennifer Hodges

123 W. Front St.

Consultant

2675 Pratum Avenue

Bus: (847) 452-7278

Bus: (859) 916-1908

ARCHITECT RYAN R. TRIPHAHN, PLLC

Hoffman Estates, IL 60192

Julie Gehling 100 Valvoline Way

Valvoline Instant Oil Change

Valvoline Instant Oil Change Lexington, KY 40509 Bus: (859) 357-7641

CIVIL P.M. WT Group JASON GREEN, PE 2675 Pratum Avenue Hoffman Estates, IL 60192 Bus: (224) 293-6333

STRUCTURAL ENGINEER WT Group Jeff Gutowsky, PE 2675 Pratum Avenue Hoffman Estates, IL 60192 Bus: (224) 293-6333

ENGINEERING AHJ Charter Township of Union EROSION CONTROL AHJ Isabella County Community Kim Smith Development Department Bus: 989-772-4600 ext. 224 Ray Johnson Email: KSmith@uniontownshipmi.com 200 N Main Street RM 140

FIRE MARSHALL AHJ Pleasant Fire Department LT. Brad Doepker Bus: 989-779-5122 Email: Bdoepker@MT-pleasant.ord

Isabella County Road Commission Patrick J Gaffney 2261 East Remus Road Mount Pleasant, MI 48858-9002 Bus: 989-773-7131 ext. 115

Email: pgaffney@isabellaroads.com

Consumers Energy Shannon 1 Energy Plaza Jackson, MI 49201 Bus: 800-805-0490

BusinessCenter@cmsenergy.com

LUBE EQUIPMENT SUPPLIER

7845 Little Ave. Charlotte, NC 28226 Bus: (800) 233-0400

LANDSCAPE ARCHITECT Evergreen Design Group Sharon Stachecki 100 E. Campus View Blvd Suite 250 Columbus, OH 43235 Bus: (800) 680-6630

<u>PLANNING AHJ</u> Charter Township of Union Rodney Nanney Bus: 989-772-4600 ext. 232 Email: RNanney@uniontownshipmi.com

PUBLIC WORKS AHJ
Charter Township of Union Kim Smith Bus: 989-772-4600 ext. 224 Email: KSmith@uniontownshipmi.com

BUIDLING REVIEW AHJ Charter Township of Union Larry Sommer 2010 S Lincoln Mount Pleasant, MI 48858 Bus: 989-772-4600 ext. 227

Email: buildingofficial@uniontownshipmi.com

GAS SERVICE Consumers Energy Shannon 1 Energy Plaza Jackson, MI 49201 Bus: 800-805-0490

Email: BusinessCenter@cmsenergy.com

without the express written permission from the Professional.

2/08/2023 OWNER REVIEW SET

PROFESSIONAL IN CHARGE

PROFESSIONAL LICENSE NO:

JASON E GREEN PROJECT MANAGER

QUALITY CONTROL DRAWN BY

D2300111



OIL CHANGE 4448 E. BLUEGRASS

MOUNT PLEASANT, MI 48858

PROJECT NUMBER

COVER SHEET

CIVIL ENGINEER:

WTGroup Structural | Mechanical/Electrical/Plumbing Civil | Land Survey | Telecommunication | Aquatic Accessibility Consulting | Design & Program Management Engineering with Precision, Pace & Passion.

2675 Pratum Avenue | Hoffman Estates, IL 60192 P: 224 293 6333 | F: 224 293 6444

CONTACT: JASON GREEN 2675 PRATUM AVE HOFFMAN ESTATES, ILLINOIS 60192 (224) 293-6333

LEGAL DESCRIPTION

EXHIBIT "A" LEGAL DESCRIPTION

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF ISABELLA, TOWNSHIP OF UNION.

A PARCEL OF LAND TO BE DETERMINED FROM THE FOLLOWING

PART OF THE SOUTHWEST 1/4 AND PART OF THE SOUTHEAST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING SOUTH 87 DEG. 14' 35" EAST, ALONG THE EAST-WEST 1/4 LINE, 1568.51 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 87 DEG. 14' 35" EAST, ALONG SAID EAST-WEST 1/4 LINE, 1062.06 FEET; THENCE SOUTH 02 DEG. 35' 08" WEST, 1158.58 FEET; THENCE SOUTH 87 DEG. 15' 30" EAST, PARALLEL WITH SAID EAST-WEST 1/4 LINE, 935.88 FEET; THENCE SOUTH 02 DEG. 54' 01" WEST, 353.63 FEET; THENCE NORTH 87 DEG. 15' 30" WEST, 576.12 FEET; THENCE SOUTH 02 DEG. 54' 01" WEST, PARALLEL TO THE NORTH-SOUTH 1/4 LINE, 1156.25 FEET TO THE SOUTH SECTION LINE; THENCE NORTH 87 DEG. 01' 00" WEST, ALONG SAID SOUTH SECTION LINE, 326.65 FEET TO THE SOUTH 1/4 CORNER OF SAID SECTION 26; THENCE NORTH 87 DEG. 04' 43" WEST, ALONG SAID SOUTH SECTION LINE, 804.49 FEET TO THE NORTH RIGHT OF WAY LINE OF US-127 B.R. THENCE ALONG SAID NORTH RIGHT OF WAY LINE OF US-127 B.R., 333.76 FEET ALONG A 3684.72 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF NORTH 52 DEG. 52' 41" WEST, 333.64 FEET; THENCE NORTH 02 DEG. 24' 38" EAST, 2476.47 FEET BACK TO THE PLACE OF BEGINNING.

EXCEPT THE FOLLOWING PARCELS:

1.PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 1568.51 FEET AND SOUTH 02 DEG. 24' 38" WEST 351.25 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 02 DEG. 24' 38" WEST 921.02 FEET; THENCE SOUTH 87 DEG. 24' 52" EAST 978.18 FEET; THENCE NORTH 02 DEG. 35' 08" EAST 921.00 FEET; THENCE NORTH 87 DEG. 24' 52" WEST 980.99 FEET BACK TO THE PLACE OF BEGINNING.

2.PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 1568.51 FEET AND SOUTH 02 DEG. 24' 38" WEST 1272.26 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 02 DEG. 24' 38" WEST 757.49 FEET; THENCE SOUTH 87 DEG. 24' 51" EAST 843.61 FEET; THENCE 274.87 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF NORTH 32 DEG. 52' 18" EAST 262.25 FEET; THENCE NORTH 02 DEG. 35' 08" EAST 531.04 FEET; THENCE NORTH 87 DEG. 24' 52" WEST 978.18 FEET BACK TO THE PLACE OF BEGINNING.

3. PARCEL A: PART OF THE WEST 20 ACRES OF THE SOUTHEAST 1/4 AND THAT PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS:

BEGINNING SOUTH 87 DEG. 14' 35" EAST, ALONG THE EAST-WEST 1/4 LINE, 2630.59 FEET AND SOUTH 02 DEG. 35' 08" WEST,1539.79 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 02 DEG. 35' 08" WEST, 260.33 FEET; THENCE 163.23 FEET ALONG A 340.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 16 DEG. 20' 21" WEST, 161.67 FEET; THENCE 51.20 FEET ALONG A 38.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 08 DEG. 30' 15" EAST, 47.41 FEET; THENCE SOUTH 47 DEG. 06' 04" EAST, 79.22 FEET; THENCE NORTH 02 DEG. 24' 38" EAST, 27.49 FEET; THENCE SOUTH 87 DEG. 35' 22" EAST 89.50 FEET; THENCE SOUTH 02 DEG. 24' 38" WEST, 103.89 FEET; THENCE SOUTH 47 DEG. 06' 04" EAST, 41.29 FEET; THENCE 226.75 FEET ALONG A 460.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 61 DEG. 13' 23" EAST 224.46 FEET TO THE EAST LINE OF THE WEST 20 ACRES OF THE SOUTHEAST 1/4; THENCE NORTH 02 DEG. 54' 01" EAST, ALONG SAID EAST LINE OF THE WEST 20 ACRES OF THE SOUTHEAST 1/4, 717.08 FEET; THENCE NORTH 87 DEG. 24' 52" WEST, 357.67 FEET BACK TO THE PLACE OF BEGINNING.

4.PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST,

UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST; THENCE SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 2550.58 FEET TO THE WEST RIGHT OF WAY LINE OF ENCORE BLVD.; THENCE ALONG SAID WEST RIGHT OF WAY LINE OF ENCORE BLVD. ON THE FOLLOWING TWO COURSES: THENCE SOUTH 02 DEG. 35' 08" WEST, 1800.32 FEET; THENCE 234.74 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 28 DEG. 27' 00" WEST, 226.85 FEET TO THE TRUE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED RIGHT OF WAY; THENCE 72.65 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 62 DEG. 19' 11" WEST, 72.42 FEET; THENCE 162.31 FEET ALONG A 463.50 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 82 DEG. 33' 13" WEST, 161.49 FEET; THENCE NORTH 87 DEG. 24' 51" WEST, 152.13 FEET; THENCE 374.25 FEET ALONG A 390.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 65 DEG. 05' 43" WEST, 360.05 FEET; THENCE SOUTH 37 DEG. 36' 16" WEST, 300.23 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF U.S. 127 B.R THENCE 80.02 FEET ALONG A 3684.72 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 51 DEG. 06' 12" EAST, 80.02 FEET; THENCE NORTH 37 DEG. 36' 16" EAST, 302.04 FEET; THENCE 297.48 FEET ALONG A 310.00 FOOT RADIUS CURVE TO THE RIGHT. HAVING A LONG CHORD BEARING OF NORTH 65 DEG. 05' 43" EAST. 286.19 FEET: THENCE SOUTH 87 DEG. 24' 51" EAST, 152.13 FEET; THENCE 191.82 FEET ALONG A 543.50 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD OF NORTH, 82 DEG. 28' 30" EAST, 190.83 FEET; THENCE 95.63 FEET ALONG A 340.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF NORTH 62 DEG. 31' 58" EAST, 95.31 FEET; THENCE NORTH 35 DEG. 00' 12" WEST, 80.00 FEET BACK TO THE PLACE OF BEGINNING.

5.PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST

ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL

PAGE 430, AND CORRECTED IN LIBER 1526, PAGE 837, ISABELLA COUNTY RECORDS.

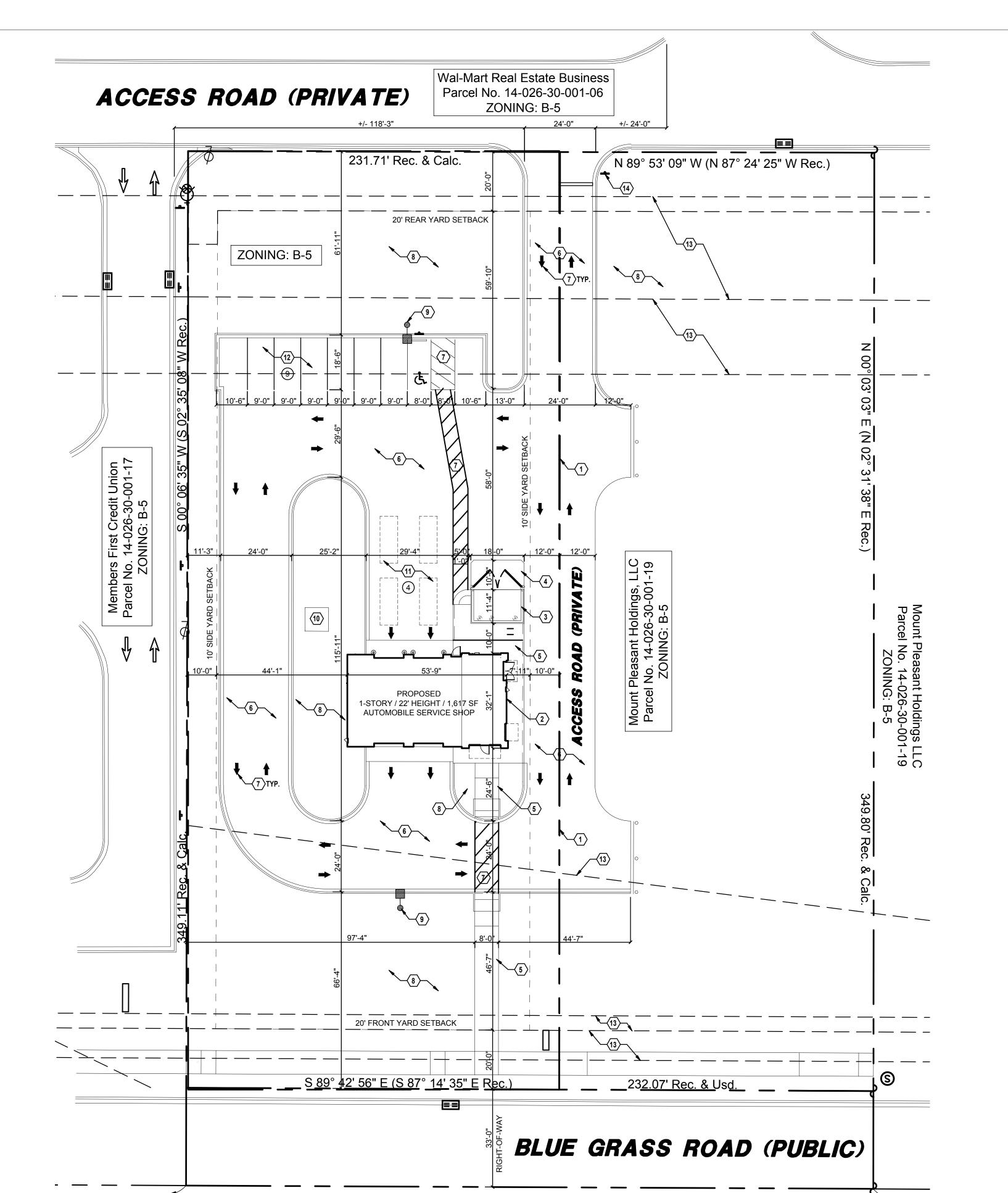
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST; THENCE SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 2550.58 FEET TO THE WEST RIGHT OF WAY LINE OF ENCORE BLVD.: THENCE ALONG SAID WEST RIGHT OF WAY LINE OF ENCORE BLVD. ON THE FOLLOWING TWO COURSES: THENCE SOUTH 02 DEG. 35' 08" WEST, 1800.32 FEET; THENCE 234.74 FEET ALONG A 260.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD BEARING OF SOUTH 28 DEG. 27' 00" WEST, 226.85 WEST, 152.13 FEET: THENCE 374.25 FEET ALONG A 390.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD LEFT, HAVING A LONG CHORD BEARING OF SOUTH 51 DEG. 06' 12" EAST, 80.02 FEET TO THE TRUE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED CLEAR VISION RIGHT OF WAY: THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE OF U.S. 127 B.R. 200.62 FEET ALONG A 3684.72 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD BEARING OF SOUTH 53 DEG. 17' 07" EAST, 200.60 FEET; THENCE NORTH 07 DEG. 40' 11" WEST, 282.31 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF A PROPOSED PERMANENT 80 FOOT WIDE RIGHT OF WAY; THENCE SOUTH 37 DEG. 36' 16" WEST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 201.78 FEET BACK TO THE PLACE OF BEGINNING.

PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, STATE OF MICHIGAN, DESCRIBED AS: BEGINNING SOUTH 87 DEG. 14' 35" EAST ALONG THE EAST-WEST 1/4 LINE, 2288.73 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 26; THENCE CONTINUING SOUTH 87 DEG. 14' 35" EAST, ALONG SAID EAST-WEST 1/4 LINE, 261.85 FEET TO THE WEST RIGHT OF WAY LINE OF ENCORE DRIVE; THENCE SOUTH 02 DEG. 35' 08" WEST, ALONG SAID WEST RIGHT OF WAY LINE OF ENCORE DRIVE, 348.33 FEET; THENCE NORTH 87 DEG. 24' 52" WEST, 261.85 FEET; THENCE NORTH 02 DEG. 35' 08" EAST, PARALLEL TO SAID WEST RIGHT OF WAY LINE OF SAID ENCORE DRIVE, 349.11 FEET BACK TO THE PLACE OF BEGINNING, AS DEEDED IN LIBER 1525









Parcel No. 14-026-10-005-10 **ZONING: B-5**





CONTACTS

PROPERTY OWNER: MOUNT PLEASANT HOLDINGS, LLC 200 W. MICHIGAN AVE. SUITE 201 KALAMAZOO, MI 49007 CONTACT: CONNOR SAMPSON

PHONE: (269) 383-5775

APPLICANT / TENANT: VALVOLINE INSTANT OIL CHANGE 100 VALVOLINE WAY LEXINGTON, KY 40509 CONTACT: ROBIN PECK PHONE: (937) 507-1820

 \simeq

This drawing is the property of the above

referenced Professional and is not to be

used for any purpose other than the

specific project and site names herein,

and cannot be reproduced in any manner without the express written permission

ISSUE

12/08/2023 OWNER REVIEW SET

12/15/2023 SITE PLAN REVIEW

COPYRIGHT NOTICE

from the Professional.

LEASE AGREEMENT

APPLICANT WILL BE LEASING A PORTION OF THE PROPERTY FROM THE OWNER TO CONSTRUCT A 1-STORY COMMERCIAL RETAIL AUTOMOBILE REPAIR SHOP. TENANT HAS NO INTENTION TO DIVIDE THE LOT AND NO INTENTION TO SUB-LEASE REMAINING AREAS OF THE PROPERTY OR SUB-LEASE PORTIONS OF THEIR BUILDING.

PROPERTY INFORMATION

LOCATION:

1 LOT WEST OF ENCORE DR. ON BLUEGRASS RD. CHARTER TOWNSHIP OF UNION, MICHIGAN 48858

BUILDING ADDRESS: 4448 E. BLUEGRASS RD. MT. PLEASANT, MI 48858

PARCEL NUMBER 14-026-30-001-19 SITE DIMENSIONS 349'-9" x 231'-8" +/- 73,334.79 S.F. LEASED AREA: +/- 39,783.12 S.F.

PROPOSED LANDSCAPING: 25.092 S.F. (34%) PROPOSED HARDSCAPING: 47,877 S.F. (66%)

EXISTING ZONING: B-5, HIGHWAY BUSINESS DISTRICT PROPOSED ZONING: B-5 HIGHWAY BUSINESS DISTRICT

ADJACENT ZONING: B-5, ALL SIDES PERMITED USED: AUTOMOBILE REPAIR SHOP / GARAGE; ALL OPERATIONS WITHIN BUILDING

SETBACKS: FRONT YARD SETBACK = 20 FEET SIDE YARD SETBACK = 10 FEET REAR YARD SETBACK = 20 FEET F.A.R.: 3,224 S.F. / 72,969 S.F. = 0.044

BUILDING INFORMATION

USE STATEMENT: THERE ARE NO EXISTING STRUCTURES ON THE PROPERTY, APPLICANT INTENDS TO CONSTRUCT A NEW COMMERCIAL RETAIL AUTOMOBILE REPAIR BUILDING ON THE PROPERTY WITH AN ADJOINING PAVED LOT FOR OFF-STREET PARKING. TENANT'S PRIMARY RETAIL SERVICE IS AUTOMOTIVE OIL CHANGES. TENANT INTENDS TO COMPLETE THEIR DEVELOPMENT AS 1 PHASE. DEVELOPMENT TO INCLUDE A MASONRY DUMPSTER ENCLOSURE LOCATED IN THE REAR OF THE PROPERTY.

22'-0", 1-STORY WITH FULL BASEMENT HEIGHT: WIDTH: 53'-9"

3,224 S.F. GROSS AREA: BASEMENT: 1,607 S.F GROUND FLOOR: 1,617 S.F.

NO. SERVICE BAYS: 2 NO. EMPLOYEES: 6 (3 EMPLOYEES PER SERVICE BAY)

PARKING CALCULATIONS

REQUIRED PARKING: 1.5 STALLS PER BAY

PROVIDED PARKING: (9) PARKING STALLS (9' x 18'-6")

1 STALL PER EMPLOYEE TOTAL: 9 STALLS

REQUIRED STACKING: 2 STACKING STALLS PER BAY 4 STACKING

PROVIDED STACKING: (4) STACKING STALLS

PROFESSIONAL LICENSE NO: CERTIFICATE OF AUTHORIZATION NO:

PROFESSIONAL IN CHARGE RYAN R. TRIPHAHN

PROFESSIONAL SEAL

PROJECT MANAGER QUALITY CONTROL

PROJECT NAME

DRAWN BY

SITE KEYNOTES

1 LEASE LINE

2 PROPOSED 1-STORY COMMERCIAL RETAIL BUILDING, SEE SHEET A-3.0

(3) MASONRY DUMPSTER ENCLOSURE W/ CONCRETE PAD, SEE SHEET A-10.1

4 > 10' CONCRETE PAD IN FRONT OF DUMPSTER ENCLOSURE

(5) CONCRETE WALK

6 ASPHALT PAVING

⟨ 7 ⟩ PAVEMENT STRIPING & NAVIGATION SYMBOLS

(8) LANDSCAPING, PER LANDSCAPE ARCHITECT

(9) POLE MOUNTED SITE LIGHTING, SEE PHOTOMETRIC PLAN

(10) ELECTRICAL TRANSFORMER

11 STACKING PARKING FOR SERVICE BAYS

(12) OFF-STREET PARKING FOR PATRONS AND EMPLOYEES

(13) UTILITY EASEMENTS, SEE SURVEY

(14) STOP SIGN & STOP BAR

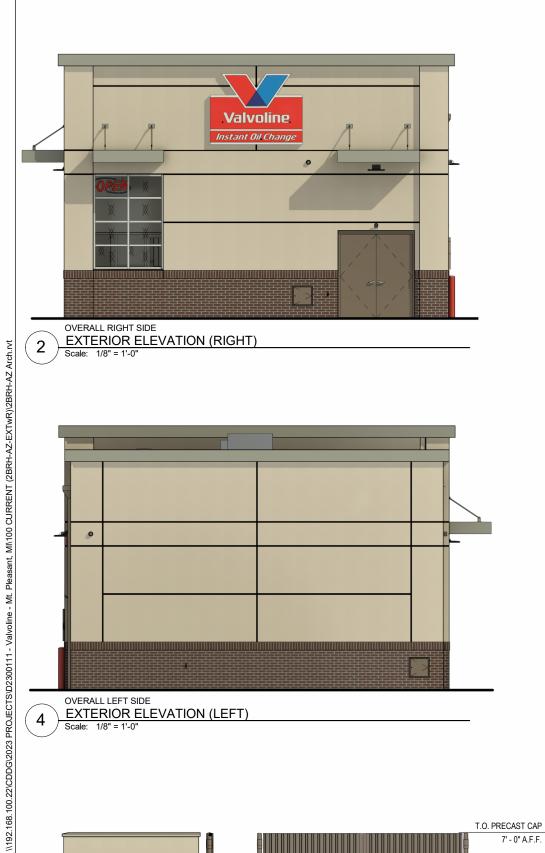
nstant Oil Change **VALVOLINE INSTANT**

4448 E. BLUEGRASS RD MT. PLEASANT, MI 48858

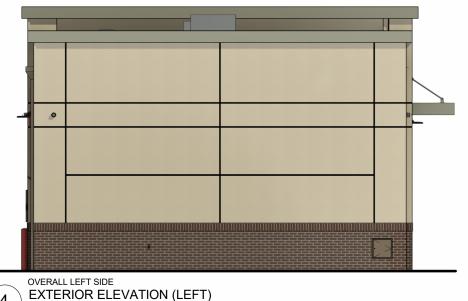
OIL CHANGE

PROJECT NUMBER

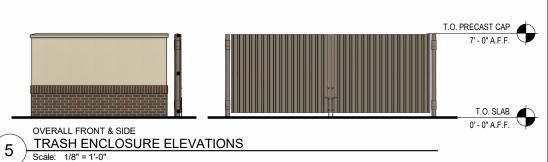
ARCHITECTURAL SITE PLAN











12/13/2023 2:35:04 PM

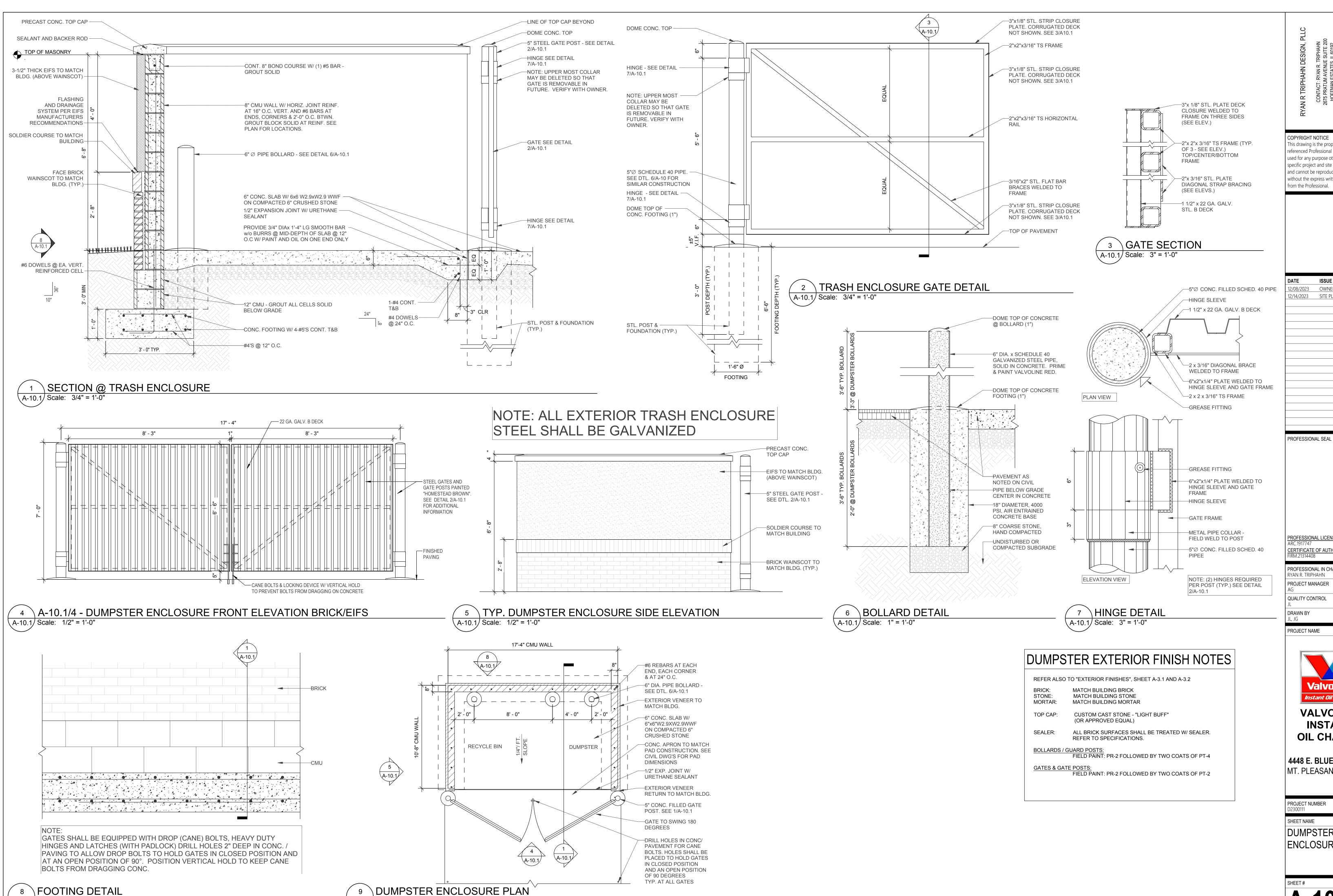
	EXTERIOR F	XTERIOR FINISHES - BRICK / EIFS							
\	EXTERIOR INSULATED	DRYVIT (SANDPEBBLE FINE)	METAL CANOPY:	AWNEX CANOPY SYSTEM - COLOR TO	STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR			
•	FINISH SYSTEM:	COLOR: E.I.F.S. 1 = #113 AMARILLO WHITE		MATCH PAC-CLAD "SILVER"		ANODIZED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING.			
	FACE BRICK: (WAINSCOT)	BELDEN - "MODULAR MIDLAND BLEND"	COPING, SOFFIT & TRIM:	PAC-CLAD SNAP EDGE EXTENDED FASCIA	H.M. DOORS & FRAMES:	FIELD PAINT W/ SHERWIN-WILLIAMS B66-1300 PRO-CYRL			
	(1711110001)		,	(12-1/2") AND VENTED SOFFIT AND TRIM - COLOR TO MATCH PAC-CLAD "SILVER"		PRIMER FOLLOWED BY (2) FINISH COATS OF B66-300 SHER-CYRL HPA. COLOR SHALL BE SW-7515 "HOMESTEAD			
	PRECAST CAP:	CUSTOM CAST STONE - "LIGHT BUFF"				BROWN". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER			
}	MORTAR:	LEHIGH STANDARD KIT - "BEIGE"	ROOF SCUPPERS &	DIMENSIONAL METALS. INC "BEIGE"	O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM			
			DOWNSPOUTS:	7					
	MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED			ACCESS PANEL:	STAINLESS STEEL			
		w/ SEALER.							



BLUEGRASS RD

A-3.0

036 Project No: D2300111



A-10.1/ Scale: 1/4" = 1'-0"

A-10.1 Scale: 1" = 1'-0"

COPYRIGHT NOTICE

his drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

ISSUE 12/08/2023 OWNER REVIEW SET 2/14/2023 SITE PLAN REVIEW

PROFESSIONAL LICENSE NO:

CERTIFICATE OF AUTHORIZATION NO:

PROFESSIONAL IN CHARGE RYAN R. TRIPHAHN PROJECT MANAGER

QUALITY CONTROL

PROJECT NAME

Valvoline Instant Oil Change

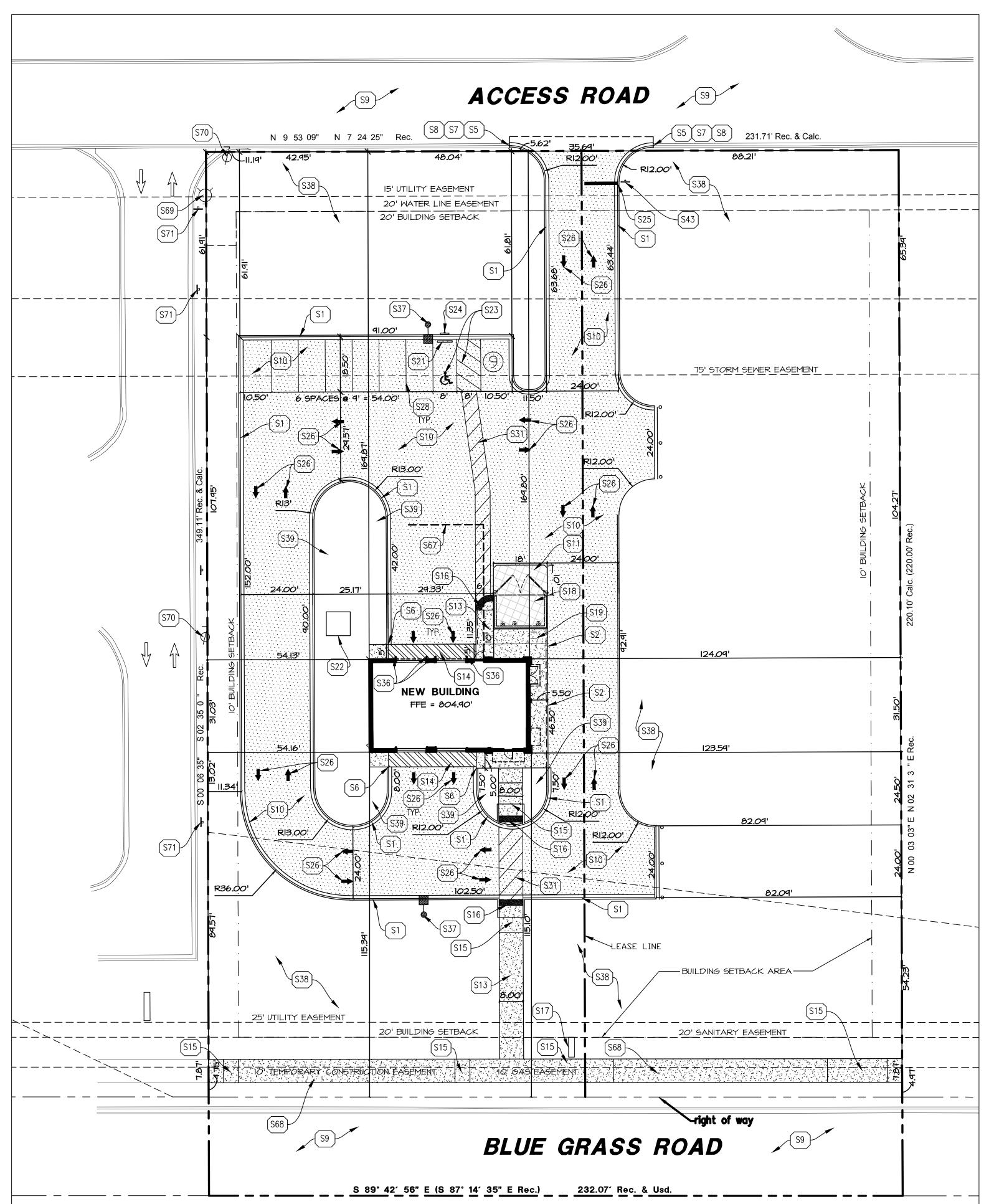
VALVOLINE INSTANT OIL CHANGE

4448 E. BLUEGRASS RD MT. PLEASANT, MI 48858

PROJECT NUMBER

SHEET NAME

DUMPSTER ENCLOSURE



Know what's **below.**

Call before you dig.

GENERAL SITE NOTES:

- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- 4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL
- NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF
- 7. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
- 8. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
- 9. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON
- 10. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- 11. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
- 12. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF
- 13. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- 14. STANDARD/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING ASSOCIATES, DATED AUGUST 23,

CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.

- 15. ALL CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED ON THE PLANS.
- 16. LOWER-LEVEL EXCAVATION REQUIRED TO BE COMPLETED BY CONTRACTOR.



- S1 CURB AND GUTTER. INTEGRAL CURB AND SIDEWALK.
- TAPER CURB TO MATCH EXISTING.
- TAPER CURB FROM 6" TO 0" OVER 10'. LIMITS OF SAWCUT.
- MATCH EXISTING PAVEMENT ELEVATION.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- STANDARD DUTY ASPHALT/CONCRETE PAVING HEAVY DUTY CONCRETE PAVING
- CONCRETE SIDEWALK.
- BLACK "COLOR TOP" CONCRETE SEALER BY SHERWIN WILLIAMS. SIDEWALK RAMP @ 8.33% MAX.
- S16 DETECTABLE WARNINGS PER ADA REQUIREMENTS
- S17 MONUMENT SIGN (PER ARCH. PLANS) S18 DUMPSTER ENCLOSURE (PER ARCH. PLANS)
- S19 BICYCLE RACK. (2) CONCRETE WHEEL STOP. (1)
- CONCRETE PAD (PER LOCAL CODES)
- ADA ACCESSIBLE PARKING SPACE AND AISLE STRIPING & SYMBOL OF ACCESSIBILITY (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- S24 ACCESSIBLE PARKING SIGN (TYPICAL PER ADA AND LOCAL REQUIREMENTS) VAN ACCESSIBLE PARKING SIGN (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- STOP BAR (PER LOCAL CODES)
- DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
- S28 PARKING STALL STRIPING (PER LOCAL CODES)
- PEDESTRIAN CROSSWALK STRIPING. (PER LOCAL CODES)
 FIRE DEPARTMENT CONNECTION (SEE ARCH. PLANS)
- S36 BOLLARD (4)
- LIGHT POLE (TYPICAL-PER LIGHTING PLAN) LANDSCAPE AREA (PER LANDSCAPE PLAN)
- LANDSCAPE ISLAND (PER LANDSCAPE PLAN)
- S43 "STOP" SIGN
- CONSTRUCTION CAMERA POST SERVICE BELL HOSE, (PER ARCH PLANS)
- PROPOSED CONCRETE PUBLIC SIDEWALK. EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING LIGHT POLE TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING SIGN TO REMAIN.

SITE DATA SUMMARY:	
VALVOLINE TOTAL SITE AREA:	1.68 ACRES/ 73,369 SF
VALVOLINE LEASE AREA:	0.913 ACRES/ 39,784 SF
ZONING	B-5
BUILDING	1,836 SF FOOT PRINT (3672 SF)
FAR:	3672 SF:73369 SF 0.05
LOT COVERAGE:	0.05 (3672 SF)
PARKING REQUIRED:	9 (1 ACCESS, 8 PARKING SPACES)
PARKING PROVIDED:	11 (1 ACCESS, 8 PARKING SPACES, 2 BAY SPACES)
PERVIOUS COVER:	47,877 SF
IMPERVIOUS COVER:	25,492 SF
REQUIRED BICYCLE PARKING	2
PROVIDED BICYCLE PARKING	2



LOCATION MAP (N.T.S)



EXISTING LEGEND:

EXISTING LIGHT POLE

EXISTING FIRE HYDRANT

PROPOSED LEGEND:

PROPERTY LINE/LEASE LINE PROPOSED CURB PROPOSED CURB & GUTTER PROPOSED SITE LIGHT, SEE PHOTOMETRIC PLAN PROPOSED PARKING SPACES — — EASEMENT LINE

PROPOSED STANDARD DUTY ASPHALT PAVEMENT. REFER TO PAVING PLAN. PROPOSED STANDARD DUTY CONCRETE PAVEMENT. REFER TO PAVING PLAN.

PARKING CALCULATION

1 SPACE PER EMPLOYEE PER SHIFT

TOTAL STANDARD SPACES REQUIRED: 9

NUMBER OF STANDARD PARKING SPACES: 8

PARKING REQUIRED: 1.5 SPACES PER BAY

EMPLOYEES PER SHIFT:

NUMBER OF ADA SPACES:

TOTAL SPACES PROVIDED:

NUMBER OF BAYS:

BAY SPACES:

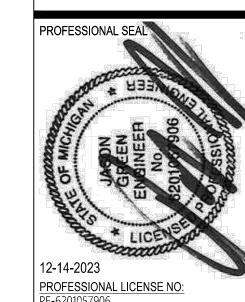
PAVING PLAN. PROPOSED HEAVY DUTY CONCRETE PAVEMENT. REFER TO PAVING PLAN.

GRAPHIC SCALE

(IN FEET) 1 inch = 20 ft.

PROPOSED CONCRETE SIDEWALK PAVEMENT. REFER TO

PROPOSED BLACK "COLOR TOP" CONCRETE SEALER BY SHERWIN WILLIAMS.



U

COPYRIGHT NOTICE

from the Professional.

This drawing is the property of the above

referenced Professional and is not to be

used for any purpose other than the

specific project and site names herein,

without the express written permission

ISSUE

12/08/2023 OWNER REVIEW SET /15/2023 SITE PLAN REVIEW

and cannot be reproduced in any manner

PROFESSIONAL IN CHARGE JASON E GREEN

PROJECT MANAGER

QUALITY CONTROL DRAWN BY

D2300111

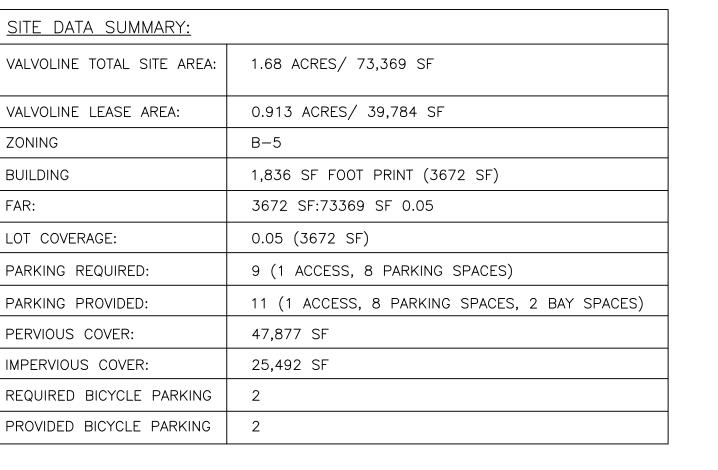


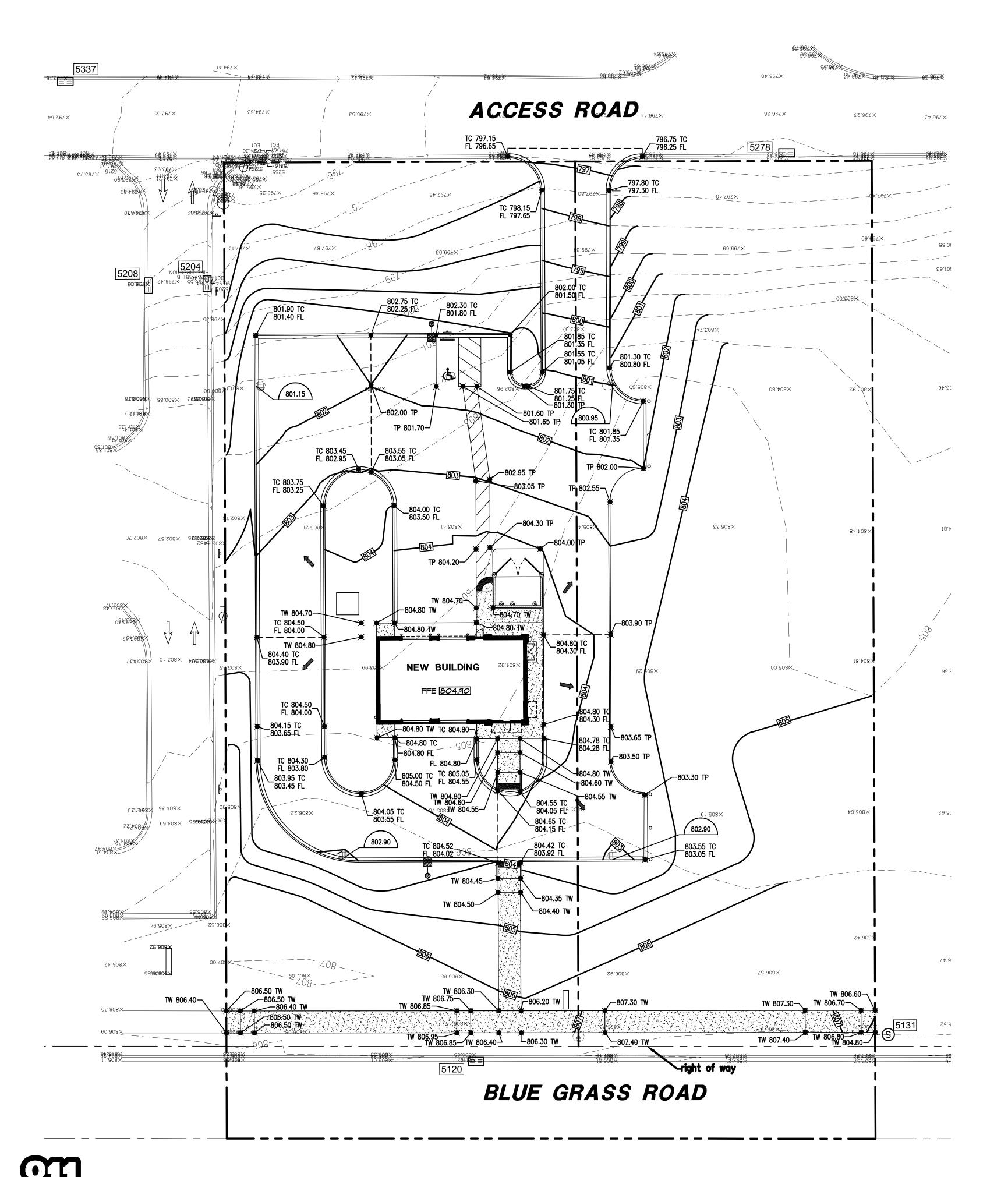
INSTANT OIL CHANGE

4448 E. BLUEGRASS ROAD MOUNT PLEASANT, MI 48858

PROJECT NUMBER

SITE PLAN





Know what's **below.**

Call before you dig.

GENERAL GRADING/DRAINAGE NOTES:

- 1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- 2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- 3. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- 5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- 6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
- 7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- 8. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- 10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- 11. CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
- 12. ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE THE LINES AND GRADES SHOWN ON THE PLANS.
- 13. ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RESPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
- 14. STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- 15. PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE
- 16. PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- 17. ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAID COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
- 18. THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES
- 19. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 20. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- 21. SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS
- 22. STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
- 23. CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
- 24. ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III. UNLESS OTHERWISE SPECIFIED ON PLANS.
- 25. A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL AN ALL SLOPES GREATER THAN 3H:1V.
- 26. DRAINAGE STRUCTURES AND DETENTION POND SHALL BE MAINTAINED BY PROPERTY OWNERS.
- 27. CONTRACTOR SHALL ADHERE TO PROPOSED GRADES ALONG CREEKS, ESPECIALLY IN THE AREA OF THE PROPOSED DETENTION POND. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PENALTIES INCURRED.
- 28. ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- 29. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE ALTA/NSPS LAND TITLE SURVEY LAST DATED 10-9-2023, PREPARED BY CESO, INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL CONTACT 811 OR 1-800-482-7171 AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- C. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A
- D. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- E. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- F. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- G. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT. H. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND
- ACCESSIBLE FOR USE BY EMERGENCY VEHICLES. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- J. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS. K. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY
- L. PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL REPORT DATED FEBRUARY 20TH. 2023 PREPARED BY GILES ENGINEERING ASSOCIATES, INC.
- M. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED AUGUST 23RD, 2023 PREPARED BY GILES ENGINEERING ASSOCIATES, INC. FOR EXISTING TOPSOIL DEPTHS.
- N. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

EXISTING LEGEND:

EXISTING SPOT GRADE ----000EXISTING CONTOUR LINE EXISTING LIGHT POLE EXISTING FIRE HYDRANT EXISTING WATER VALVE

EXISTING SANITARY MANHOLE ≡≡ EXISTING CURB INLET

PROPOSED LEGEND: PROPERTY LINE

PROPOSED CURB & GUTTER

PROPOSED RIM ELEVATION

PROPOSED CURB WITH REVERSE GUTTER PITCH

---- PROPOSED RIDGE LINE PROPOSED CONTOUR LINE

XXXX PROPOSED SPOT GRADE INTERPOLATED SPOT GRADE 100 DRAINAGE SLOPE AND DIRECTION

(000.00) PROPOSED INLET

PROPOSED CLOSED LID MANHOLE PROPOSED CATCH BASIN

TOP OF PAVEMENT ELEVATION TOP OF SIDEWALK ELEVATION FINISHED GRADE ELEVATION

FINISHED FLOOR ELEVATION TOP OF CURB ELEVATION

FLOW LINE ELEVATION

ADJUST EXISTING RIM ELEVATION TOP OF FOUNDATION ELEVATION

GRAPHIC SCALE

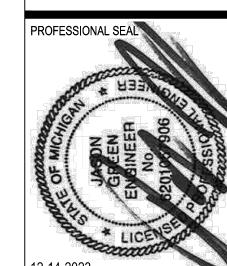
(IN FEET) 1 inch = 20 ft. U

COPYRIGHT NOTICE

his drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

ISSUE

12/08/2023 OWNER REVIEW SET 2/15/2023 SITE PLAN REVIEW



PROFESSIONAL IN CHARGE

PROFESSIONAL LICENSE NO:

JASON E GREEN PROJECT MANAGER

QUALITY CONTROL DRAWN BY

D2300111

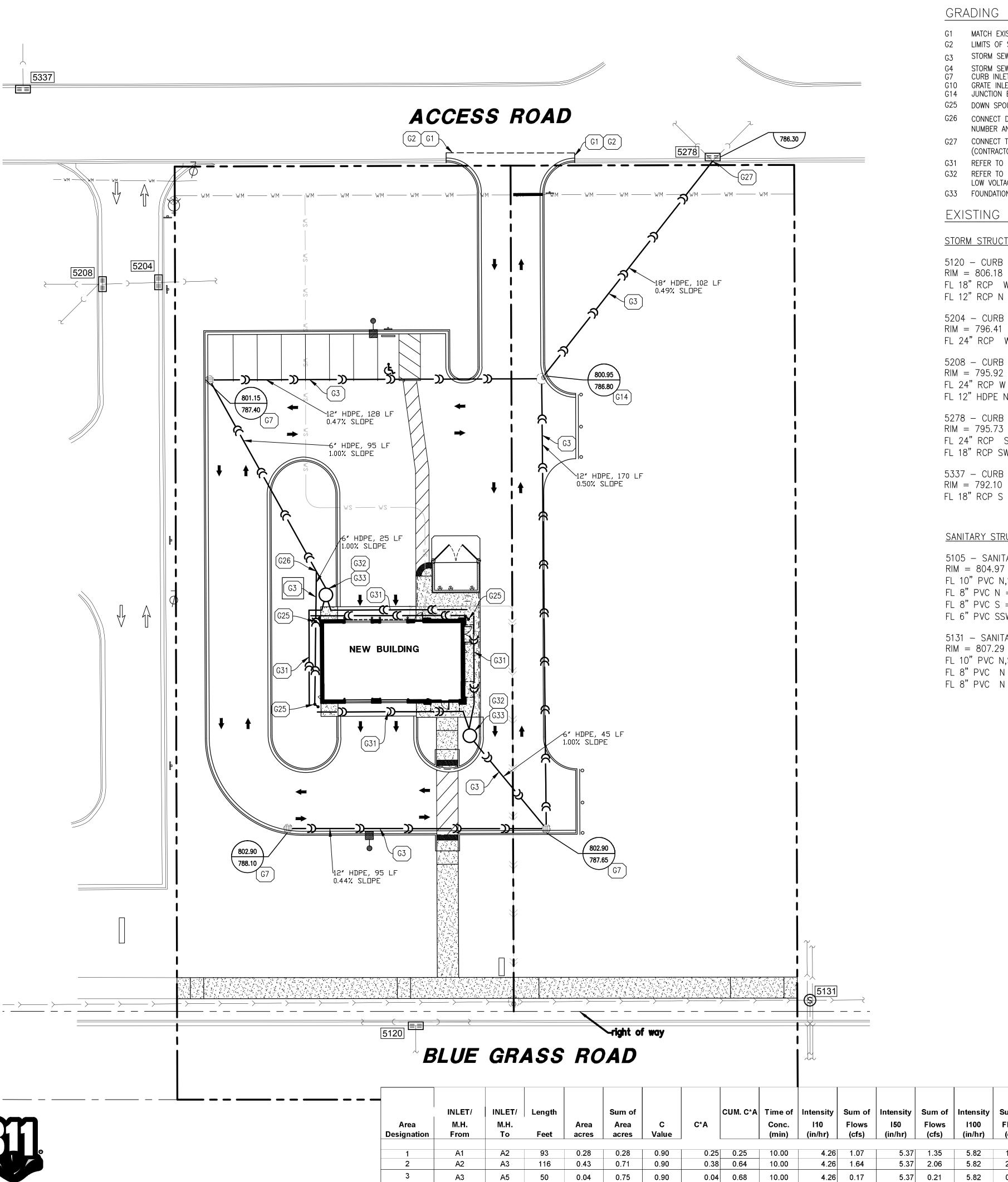


INSTANT **OIL CHANGE** 4448 E. BLUEGRASS

MOUNT PLEASANT, MI 48858

PROJECT NUMBER

GRADING PLAN



0.13

0.11 0.79 10.00

0.19 0.98 10.00

4.26 0.48

4.26 0.80

Know what's **below.**

Call before you dig.

GRADING KEY NOTES

G1 MATCH EXISTING PAVEMENT ELEVATION.

G2 LIMITS OF SAWCUT AND PAVEMENT REMOVAL

STORM SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE) STORM SEWER MANHOLE. REFER TO DETAIL ON C-7.2.

CURB INLET. REFER TO DETAIL ON C-7.2.

G10 GRATE INLET. SEE NOTE FOR GRATE TYPE. REFER TO DETAIL ON C-7.2.

G14 JUNCTION BOX. REFER TO DETAIL ON C-7.2.

G25 DOWN SPOUTS - PER ARCH. PLANS (SEE NOTE FOR NUMBER AND SIZE) G26 CONNECT DOWN SPOUTS UNDERGROUND TO STORM PIPE (SEE NOTE FOR

NUMBER AND SIZE) G27 CONNECT TO EXISTING STORM DRAIN PIPE, MANHOLE, STUB-OUT, OR INLET.

(CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)

G31 REFER TO PLUMBING PLAN FOR FOUNDATION DRAIN DESIGN G32 REFER TO PLUMBING AND ELECTRICAL PLANS FOR SUMP PUMP, POWER AND

LOW VOLTAGE DESIGN. G33 FOUNDATION SUMP PUMP MANHOLE STRUCTURE PER DETAIL ON C-7.2.

EXISTING UTILITY DATA

STORM STRUCTURES

5120 - CURB INLET WITH GRATE

RIM = 806.18FL 18" RCP W & E = 797.5'

FL 12" RCP N = 797.6'

5204 - CURB INLET WITH GRATE RIM = 796.41

FL 24" RCP W & E = 789.9"

5208 - CURB INLET WITH GRATE

FL 24" RCP W & E = 790.0"FL 12" HDPE NE = 792.3'

5278 - CURB INLET WITH GRATE

RIM = 795.73FL 24" RCP SE = 786.1'

FL 18" RCP SW = 786.2'

5337 - CURB INLET WITH GRATE

FL 18" RCP S = 786.1'

SANITARY STRUCTURES

5105 - SANITARY MANHOLE

RIM = 804.97FL 10" PVC N,S,W,E = 788.3"

FL 8" PVC N = 794.3'

FL 8" PVC S = 794.3'

FL 6" PVC SSW = 794.8"

5131 - SANITARY MANHOLE RIM = 807.29

FL 10" PVC N,S,W,E = 789.4' FL 8" PVC N = 795.3'

FL 8" PVC N & S = 795.4'

1.46 2.24

5.82 5.82

5.82

5.37 0.61

5.37 1.01

CULVERT CAPACITY

3.60

10.47

12

INCOMING

COL 21

SQU / 2G

UP STATION COL 28 -GRATE COL 34

102.90

103.9

100.95

14.08

14.24

15.69

12.76

7.79

V INLET | V IN PIPE

88.03 4.58 4.58 0.33

88.03 3.30 3.30 0.17

89.00 5.93 5.93 0.55

3.36 2.69

3.36 2.69

EXISTING LEGEND:

PROPERTY LINE — >— EXISTING STORM SEWER

EXISTING SANITARY SEWER

EXISTING WATER MAIN

EXISTING ELECTRIC LINE EXISTING SANITARY MANHOLE

EXISTING STORM MANHOLE EXISTING STORM INLET

EXISTING STORM CURB INLET EXISTING FIRE HYDRANT

EXISTING CATCH BASIN (CIRCULAR GRATE)

EXISTING CATCH BASIN (RECTANGULAR GRATE)

EXISTING WATER VALVE

EXISTING UTILITY POLE EXISTING GUY WIRE

PROPOSED LEGEND:

PROPOSED CURB & GUTTER PROPOSED STORM SEWER PROPOSED SANITARY SEWER PROPOSED FORCEMAIN

PROPOSED WATER SERVICE DRAINAGE SLOPE AND DIRECTION

000.00 PROPOSED RIM ELEVATION 000.00 PROPOSED INVERT ELEVATION

V.I.F. VERIFY IN FIELD PROPOSED INLET

PROPOSED CLOSED LID MANHOLE PROPOSED CATCH BASIN

PROPOSED B-BOX

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

INTERPOLATED

Consulting U

COPYRIGHT NOTICE

This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.

ISSUE 12/08/2023 OWNER REVIEW SET 12/15/2023 SITE PLAN REVIEW

PROFESSIONAL IN CHARGE
JASON E GREEN PROJECT MANAGER

QUALITY CONTROL DRAWN BY



VALVOLINE INSTANT OIL CHANGE

4448 E. BLUEGRASS ROAD MOUNT PLEASANT, MI 48858

PROJECT NUMBER

DRAINAGE PLAN

Know what's **below.**

Call before you dig.

GENERAL UTILITY NOTES:

- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
- 2. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE (SEE DEMOLITION PLAN). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
- AUTHORIZATION MUST BE OBTAINED FROM THE XXXXXXXXXXX AUTHORITY TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE. CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE WILL BE AUTHORIZED BY THE WATER SYSTEM UPON:
 - APPROVAL OF SUBMITTED PLANS.
 NOTIFICATION OF THE WATER SYSTEM AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.
- 4. AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAT, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
- 5. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
- 6. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- 8. CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- 9. COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- 10. ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
- 11. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
- 12. COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
- 13. ALL WATER LINES SHALL HAVE AT LEAST FOUR AND ONE HALF (4.5) FEET ABOVE GROUND COVER FROM THE TOP OF THE PIPE TO THE FINISHED GROUND SURFACE.
- 14. ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K-COPPER.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES.

UTILITY KEY NOTES

- SANITARY SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)
 SANITARY SEWER POINT OF ENTRY (PER MEP PLANS)
- U3 SANITARY SEWER POINT OF CONNECTION
 U4 SANITARY SEWER MANHOLE. REFER TO DETAIL ON C-7.3.
- US SANITARY SEWER CLEAN-OUT. REFER TO DETAIL ON C-7.3.
- U9 CONNECT TO EXISTING SANITARY SEWER, MANHOLE STUB-OUT OR CLEAN-OUT. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- U13 DOMESTIC WATER LINE (SEE NOTE FOR TYPE AND SIZE)
- U18 EXISTING FIRE HYDRANT
- U26 WATER LINE POINT OF ENTRY (PER MEP PLANS)
- U27 WATER LINE POINT OF CONNECTION, TAPPING SADDLE 8" X 1 $\frac{1}{2}$ "
 U28 CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.

(#)

- U37 MAINTAIN MIN. 24" VERTICAL SEPARATION BELOW STORM SEWER
- U39 LIGHT POLE LOCATIONS (SEE LIGHTING PLAN FOR DETAILS)
- U43 PROPOSED ELECTRIC TRANSFORMER
- U44 UNDERGROUND ELECTRIC SERVICE
- U46 ELECTRIC SERVICE POINT OF ENTRY (PER MEP PLANS)
- U47 ELECTRIC SERVICE POINT OF CONNECTION
- U48 UNDERGROUND TELEPHONE SERVICE (INSTALL TWO 2" CONDUITS)
 U50 TELEPHONE SERVICE POINT OF ENTRY (PER MEP PLANS)
- U51 TELEPHONE SERVICE POINT OF CONNECTION
 U52 GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY
- FOR THE INSTALLATION OF THE GAS SERVICE LINE.
- U53 GAS METER
- U55 GAS LINE POINT OF ENTRY (PER MEP PLANS)
- 56 GAS LINE POINT OF CONNECTION
- CONTRACTOR TO VERIFY EXISITNG UTILITY CONNECTIONS/ LOCATIONS PRIOR TO THE START OF WORK
- U62 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- U63 ADJUST MANHOLE RIM TO MATCH FINISH FLOOR GRADE.
- J66 ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS. NO OTHER UTILITIES ALLOWED IN ELECTRIC DITCH. CONTRACTOR SHALL INSTALL TWO (2) 4" SECONDARY CONDUITS FROM THE TRANSFORMER TO THE BUILDING. (SEE MEP PLANS).
- TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- EXIST TRANSFORMER CONCRETE. CONNECT SECONDARY TO THIS CABINET WET CONNECTION TO EXIST 8" GATE VALVE, REMOVE EXISTING STUB AND
- ALIGNMENT OF EXISTING WATER MAIN APPEARS TO CONFLICT WITH THE EXISTING ELECTRICAL POWER TRANSFORMER. ROUTE PROPOSED WATER LINE FROM CONNECTION WITH THE EXISTING FIRE HYDRANT TO THE NORTH OF THE TRANSFORMER INSTALLATION USING 45 DEGREE RESTRAINED JOINT ELLS AND 5' MINIMUM LONG JOINTS OF 8" DIA. AWWA C900 CLASS 150 PVC WATER MAIN. ALL WATER MAIN DEPTH TO MATCH EXISTING MAIN DEPTHS. 5' MINIMUM DEPTH. EXCAVATION OF EXISTING DRIVEWAY APPROACH NOT AUTHORIZED BY THIS SET OF PLANS
- U71 INSTALL 8" RESTRAINED JOINT CL 150 AWWA 501 GATE VALVE, 8" AWWA C900 PVC CL 150 5' STUB, RESTRAINED JOINT CAP

EXISTING LEGEND:

EXISTING LIGHT POLE

EXISTING FIRE HYDRANT

PROPOSED LEGEND:

PROPERTY LINE

PROPOSED CURB & GUTTER
PROPOSED CURB
PROPOSED CURB
PROPOSED RETAINING WALL
PROPOSED EASEMENT LINE
GAS LINES
T TELEPHONE LINES
SANY SANITARY SEWER LINES
WATER LINES
IRRIGATION WATER LINES
FIRE FIRE SERVICE WATER LINES

CLEAN OUT

PROPOSED DRAINAGE STRUCTURES (SEE GRADING/DRAINAGE PLANS)

ELECTRIC LINES

——— UE ——— UNDERGROUND ELECTRIC LINES

—— DHE —— OVER HEAD ELECTRIC LINES

WATER METER

IRRIGATION METER

Z RPZ/BFP

WATER VALVE

FDC

OIL & WATER SEPARATOR

SEWER MANHOLE

LIGHT POLES

NOTE: ALL PROPOSED FLOWLINES HAVE A BASE ELEVATION OF XXXX.XX FEET

SUMP PUMP ELEVATION TABLE

OOIVII I OIVII LLL V	/ ()
DESCRIPTION	ELEVATION
FFE FIRST FLOOR	804.90
BASEMENT FLOOR	796.00
FLOW LINE OF DRAIN TILES	795.00 MAX
ELEVATION OF BOTTOM OF EACH SUMP	793.00
HIGH POINT OF EACH FORCE MAIN FLOW LINE	800.90
ELEVATION OF FORCE MAIN OUTLET AT NEW STORM SEWER INLET	798.50 MAX
INSTALL 2" DIAMETER SCH 40 PVC PUSH	JOINT FORCE MAINS

INSTALL 2" DIAMETER, SCH 40 PVC PUSH JOINT FORCE MAINS WITH AN EVEN SLOPE FROM THE HIGH POINT TO THE OUTLET IN THE STORM INLET

FORCE MAINS TO HAVE A HIGH POINT AT THE SUMP AND THEN HAVE A

POSITIVE SLOPE DOWN TO THE STORM SEWER THAT IS AT LEAST 0.5%

NOTE TO DESIGNER:

IT IS VALVOLINE'S PREFERENCE TO USE A SINGLE CLEANOUT OUTSIDE OF THE BUILDING ENVELOPE. IN THE INSTANCE THAT THIS IS NOT ALLOWED PER THE AHJ REQUIREMENTS. REFER BACK TO AHJ APPROVED LAYOUT STANDARD.

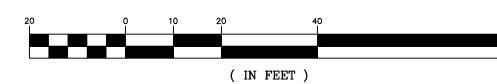
NOTE TO DESIGNER:

IT IS VALVOLINE'S PREFERENCE TO HAVE BOTH THE DOMESTIC AND IRRIGATION WATER METERS LOCATED INSIDE OF THE BUILDING. WITH THE IRRIGATION INSTALLER BEING RESPONSIBLE FOR PROVIDING AND INSTALLING THE PLUMBING FOR THE IRRIGATION SYSTEM FROM THE EXTERIOR TO THE BACKFLOW PREVENTER LOCATED INSIDE THE BUILDING. IN THE INSTANCE THAT THIS IS NOT ALLOWED PER THE AHJ REQUIREMENTS. REFER BACK TO AHJ APPROVED LAYOUT STANDARD.



GRAPHIC SCALE

1 inch = 20 ft.



900

12-14-2023
PROFESSIONAL LICENSE NO: PE-6201057906

U

COPYRIGHT NOTICE

from the Professional.

This drawing is the property of the above

referenced Professional and is not to be

used for any purpose other than the

specific project and site names herein,

without the express written permission

ISSUE

12/08/2023 OWNER REVIEW SET

2/15/2023 SITE PLAN REVIEW

and cannot be reproduced in any manner

PROFESSIONAL IN CHARGE JASON E GREEN

PROJECT MANAGER
RES

QUALITY CONTROL
RES

DRAWN BY

D2300111



INSTANT
OIL CHANGE
4448 E. BLUEGRASS

ROAD MOUNT PLEASANT, MI 48858

PROJECT NUMBER D2300111

SHEET NAME

UTILITY PLAN

SHEET # C-6.0

DSXW1-LED Rev. 3/13/18

D-Series Size 1 LED Wall Luminaire Introduction The D-Series Wall luminaire is a stylish, fully Back Box (BBW, ELCW) Luminaire integrated LED solution for building-mount Width: 13-3/4" BBW (34.9 cm) Weight: applications. It features a sleek, modern design and is carefully engineered to provide long-lasting Depth: energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires. the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated. EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD Shipped installed Shipped separately **
SF Single fixer (120,277 or 34/V) **
SFW Bind-deterrent spikes DBLXD Black tronze DBSXD Sindistine DBTXD Restured dark bronze DBLXD Black DBAXD Restured dark bronze DBLXD Black DBAXD Restured black SFW Morading pared SFW Separate surge-protection DDL Diffued drop lens NOTES

1 20C 1000 is not available with PIR, PIRH, PIRHCRY or PIRH1FCRY

2 MPCUT driver operates on any fine veltage from 132-277V (5080 Hz).

3 Single face 657 (requires 1207 or 347 voltage option). Double face IDF; requires 208, 240 or 480 voltage option.

4 Only available with 20C, 700mA or 100mA. Not available with PIR or PIRH.

5 Back box hopp installed on face. Cannot be fell installed. Cannot be ordered as an accessory.

6 Photocontrol (PIE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).

7 disfuses with Autor Scarce staffing name 3. Accessories
Ordered and shipped separately DSIMMES II House-side sheld (one per light engine)
DSIMMES III III Bod-deterrent spikes
DSIMTING III Wire guard accessory
DSIMTING II Vandal guard accessory

o. Label X Y Z MH Orienta WP -299.56 -88.54 10.33 10.33 360.00 WP -306.96 -114.68 13.00 13.00 270.00 WP -252.62 -104.00 13.00 13.00 90.00 4 WP -289.66 -120.54 13.00 13.00 180.00 5 WP -257.45 -120.54 13.00 13.00 180.00 6 A -270.15 -35.13 27.00 27.00 180.00 7 A -270.65 -233.90 27.00 27.00 360.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Mir
SPILL SUMMARY		0.5 fc	8.5 fc	0.0 fc	N/A	N/A
ACCESS DRIVEWAY		1.7 fc	5.3 fc	0.5 fc	10.6:1	3.4:1
FRONT BAY		2.9 fc	5.1 fc	1.1 fc	4.6:1	2.6:1
PARKING SUMMARY		2.3 fc	4.4 fc	0.6 fc	7.3:1	3.8:1
REAR BAY		2.6 fc	4.2 fc	1.1 fc	3.8:1	2.4:1

GENERAL-EXTERIORS

RSX1 LED

21.8" (55.4 cm) (SPA mount)

13.3" (33.8 cm)

3.0° (7.6 cm) Main Body 7.2″ (18.4 cm) Arm

Single fuse (120, 277, 347) ⁵ Double fuse (208, 240, 480) ⁵

22.0 lbs (10.0 kg)

Length:

Introduction

*See ordering tree for details

| 30K | 3000K | R2 | 3/pre 2/Mde | AFR90 | Automotive Four Row AFR90 | Arthurotive Four Row AFR90 | Art

*Note: NLTAIR2 PIRHN with nLight Air can be used a coverage pattern is affected when luminaire is tilted

Shipped Separately (requires some field assembly)
EGS External glare shield '
EGFV External glare full visor (360° amound light aperture) '
BS Bird spikes '*

The new RSX LED Area family delivers maximus

value by providing significant energy savings, long life and outstanding photometric performance at affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

days or less. To learn more about Design Select, visit www.acuitybrands.com/designsele

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

JABRAJU SBEK DIAND Natural Aluminum DWHXD White DBEXD Tentared Bark Bonae DBEXD Tentared Bark DHATXD Tentared Water DWHACD Tentared White

Lithonia RSX1 Area LED Rev. 06/27/23 Page 1 of 9

1. Readings shown are based on a total LLF of 0.85 and 0.90 as shown at grade, Total LLF = 0.765 (0.77). Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11). 2. Please refer to the fixture labels for product type and mounting

3. Product information can be obtained at

https://www.acuitybrands.com/ or through your local agency.

4. Note pole and wall pack locations are based on approximations using google earth. 5. Calculations do not account for topography and possible

obstructions such as old growth trees or other foliage. 6. Grid spacing is 10' x 10' on center.

Schedu	lle								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	Α	2	Lithonia Lighting	RSX1 LED P4 40K R4	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	1	16573	0.97	133.14
	WP	5	Lithonia Lighting	DSXW1 LED 20C 1000 40K TFTM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K, @ 1000mA.	1	7711	0.97	73.2

58 40 55 E (\$87 14 56 E 08 C

0.0 0.0 0.0 0.0 0.0 0.1 0.3 0.7 1.2

0.0 0.0 0.0 0.0 0.0 0.1 0.2 0.6 1.3 2.4 3.6 3.8

Maria Pleaser Holdings (LEC Paca No 14-036-35-001-19

**D.O **D.O

0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.1 0.2 0.4 0.6 0.9 1.2 1919 2.5 3.2 38 3.4 2.7 2.0 1.3 0.9 0.6 0.4 0.2 0.1 0.1 0.0 0.0 0.0 0.0 0.0

±0.0 ±0.0 ±0.0 ±0.1 ±0.1 ±0.2 ±0.3 ±0.5 ±0.7 ±1.0 ±1.3 ±1.5 ±1.7 ±2.0 ±2.3 ±1.9 ±1.6 ±1.5 ±1.1 ±1.1 ±0.8 ±1.5 ±0.3 ±0.2 ±0.1 ±0.1 ±0.0 ±0.0 ±0.0 ±0.0 ±0.0

 $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.0$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.3$ $^{+}0.5$ $^{+}0.3$ $^{+}0.5$ $^{+}$

0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.4 00.6 0.9 1.3 1.8 2.6 3.6 4 3.9 2.9 2.0 1.4 1.0 0.6 0.4 0.2 0.1 0.1 0.0 0.0 0.0 0.0

**O.O **O.O

Wall-Ward Read Eated a Business Parell Na 14 to 6-2 B-2 B-007-CE

1.1 2.4 5 4.0 3 3.6 2.9 2.0 1.8 1.6 1.6 1.4 0.9 0.5 0.3 9.1 0.1 0.0 0.0 0.0 0.0

*2.9 | 2.8 18 0 0,5 | 0.2 0,1 0,1 0.0 0.0 0.0 0.0

3.9 3.5 19 1.1 0.5 0.2 0.1 0.0 0.0 0.0 0.0 0.0 WP⁴ 13.3 18 1.0 0.5 0.2 0.1 0.0 0.0 0.0 0.0 0.0

> Plan View Scale - 1" = 40ft

| CONSIDER | SPECIAL | CONSIDER | SPECIAL | CONSIDER |

This application design is not a professional engineering drawing, and the design, including reported data and calculated results, is provided for informational purposes only, without any warranty as to accuracy, completeness, safety or otherwise. The design is the result of calculations made using Visual® lighting application software, photometric/radiometric data measured in a laboratory, and certain computational and modeling assumptions.

Far-field photometric/radiometric data may have been used to perform one or more calculations. Photometric/radiometric data is typically collected under far-field measurement conditions; far-field data is not generally representative of near-field performance. These approximations may result in significant inaccuracies in individual calculated luminous and/or radiant power quantities in areas where a source is in close proximity to a particular surface or point. The modeling of radiant flux exchange used in the Visual software requires a uniform exitance gradients, introducing purposes only, without any warranty as to accuracy, completeness, safety or otherwise. The design is the result of calculations performed luminous and/or radiant power quantities in a perfectly differ from predictions. When using far-field data is not generally uniform exitance in individual calculated surfaces and individual calculations performed luminous and/or radiant power quantities and surfaces with sufficiently uniform accuracies in individual calculated luminous and/or radiant power quantities and surfaces with sufficiently uniform accuracies in individual calculated results, is provided for information conditions. When using far-field data is not generally uniform accuracies in individual calculated luminous and/or radiant power quantities and sufficiently uniform accuracies in individual calculated luminous and/or radiant power quantities and sufficiently uniform accuracies in individual calculated luminous and/or radiant power quantities and sufficiently uniform accuracies in individual c

As a result of the computational limitations and simplifying modeling assumptions described above, and/or variations in actual product performance from tested product samples, the accuracy of calculated output values identifying expected radiometric quantities and any resulting derived radiation dose calculations may be adversely affected. In addition, the accuracy of the application design or specifications), if incorrect assumptions made about the deficiencies in the information provided, or if typical assumptions made about the depicted physical space are not appropriate for mat (including but not limited to floor plans, space layout, reflected ceiling plans, physical structures, electrical design or specifications), if incorrect assumptions made about the depicted physical space are not appropriate for the space. Furthermore, actual field performance may differ from performance may differ from performance calculated using laboratory measurements as the result of miscalculations related to deficiencies in the information provided about the physical space, degradation factors in the application and dirt accumulation), or other possible variations in field conditions. Finally, lamp lumen depreciation and dirt accumulation in these estimates may also result in performance over time that differs from performance over time that differs from calculated performance. It is the obligation of the end-user to consult with appropriately qualified Professional Engineer(s) to determine whether this application. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this application design.

Revised by: Jim Eads, LC

12/14/2023

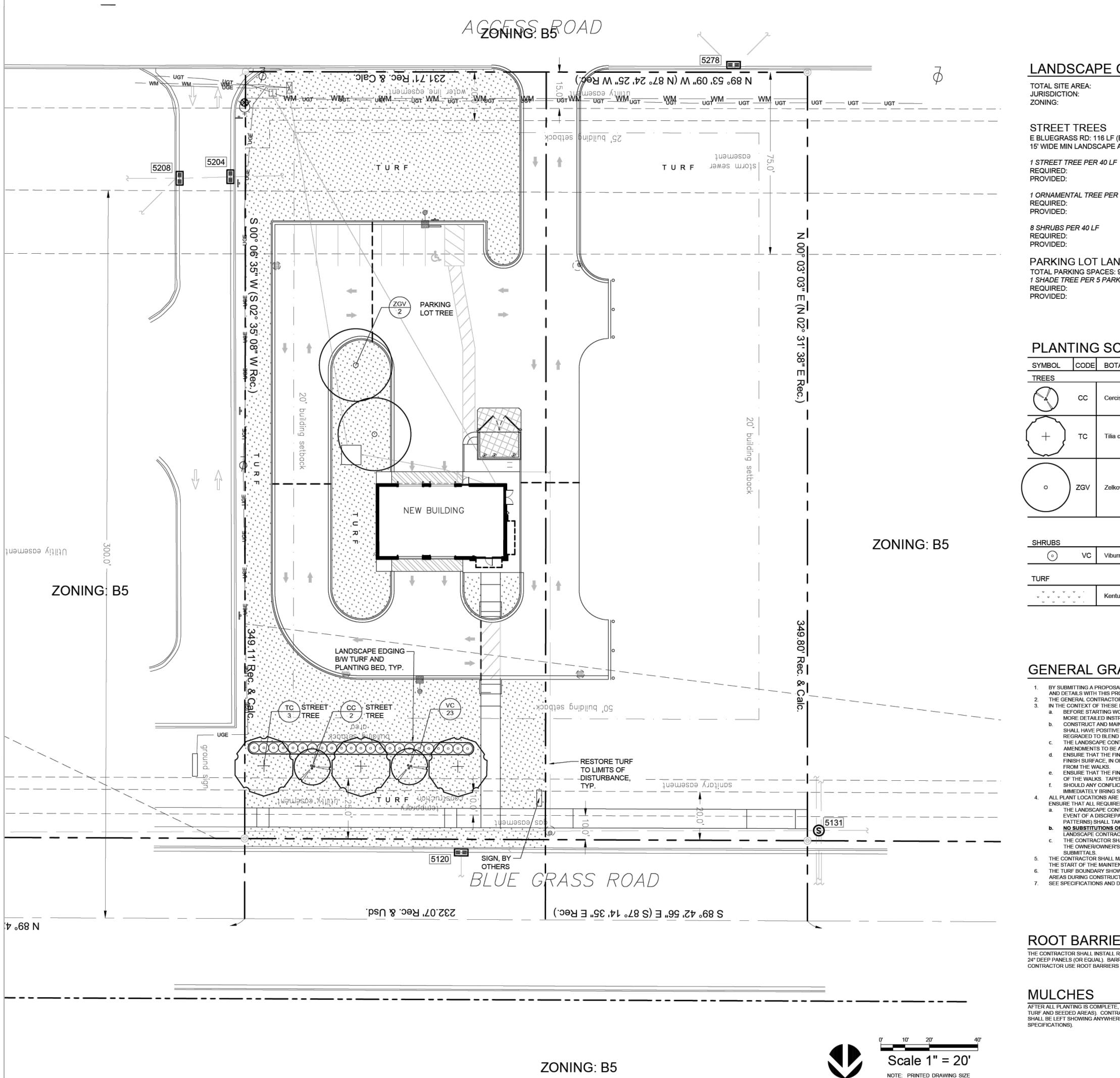
Drawing No.

249340-4 A1

1 of 1

Date

Scale As Shown



LANDSCAPE CALCULATIONS

TOTAL SITE AREA:

81,035 SF (1.86 AC.) CHARTER TWP OF UNION, ISABELLA CO., MI JURISDICTION: B5 - HIGHWAY BUSINESS DISTRICT ZONING:

STREET TREES

E BLUEGRASS RD: 116 LF (EXCLUDING WALK)

15' WIDE MIN LANDSCAPE AREA PROVIDED FROM EASEMENT LINE

REQUIRED: PROVIDED:

REQUIRED:

3 STREET TREES 3 STREET TREES

1 ORNAMENTAL TREE PER 100 LF

2 ORN. TREES 2 ORN. TREES

8 SHRUBS PER 40 LF REQUIRED:

23 SHRUBS 23 SHRUBS

PARKING LOT LANDSCAPING

TOTAL PARKING SPACES: 9

1 SHADE TREE PER 5 PARKING SPACES

REQUIRED: PROVIDED: 2 TREES 2 TREES

PLANTING SCHEDULE

	SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	MIN. SIZE	QTY.	REMARKS
	TREES						
		СС	Cercis canadensis	Eastern redbud	2" cal	2	Specimen, multi-stem, 3-5 stems
l	+	тс	Tilia cordata 'Greenspire'	Littleleaf Linden	2.5" cal	3	Matched specimen
(°	ZGV	Zelkova serrata 'Green Vase'	Green Vase Zekkova	2.5" cal	2	Matched specimen

SHRUBS					
vc	Viburnum c. 'Compactum'	Koreanspice Viburnum	36" ht, 24" spd	23	48" O.C., full
TURF					
* * * * * * * * * * * * * * * * * * *	Kentucky Bluegrass blend	Kentucky Blue Grass	Sod		Min. 1 year old, uniform color & texture

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL

CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS

- AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT
- FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE
- OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.). a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GÉNERÁL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER
- PATTERNS) SHALL TAKE PRECEDENCE. b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS)
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- THE TURF BOUNDARY SHOWN ON THESE PLANS HAS BEEN ESTIMATED BASED ON THE CURRENT PROJECT INFORMATION. CONTRACTOR SHALL ADJUST THE LIMITS OF TURF TO COVER ALL DISTURBED AREAS DURING CONSTRUCTION.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING

BAR SCALE ABOVE.

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

COPYRIGHT NOTICE

This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.



ISSUE 12/08/2023 OWNER REVIEW SET 12/15/2023 SITE PLAN REVIEW

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

PROFESSIONAL LICENSE NO: LA-3901001481

SHARON M STACHECKI

PROJECT MANAGER

QUALITY CONTROL DRAWN BY

PROJECT NAME

SS/AM



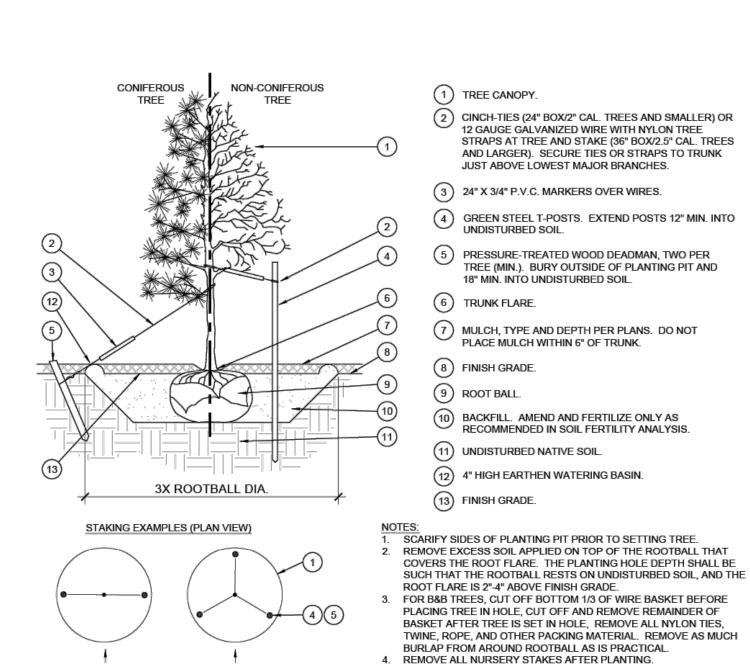
4448 E. BLUEGRASS RD MT. PLEASANT, MI 48858

OIL CHANGE

D2300111 SHEET NAME

PROJECT NUMBER

LANDSCAPE PLAN



5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM

DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT

PREVAILING

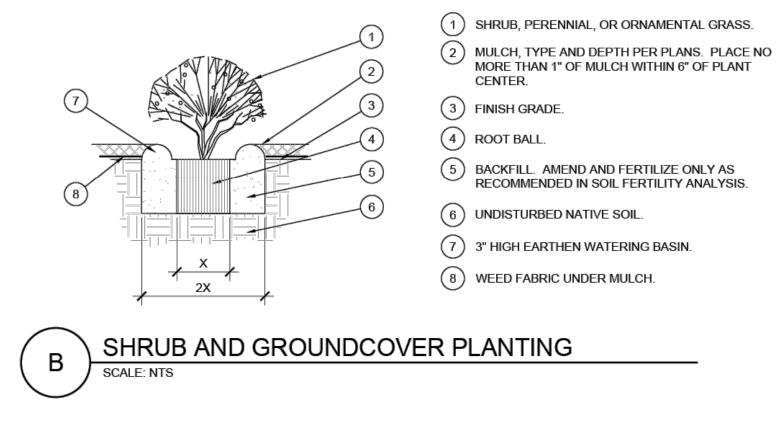
WINDS

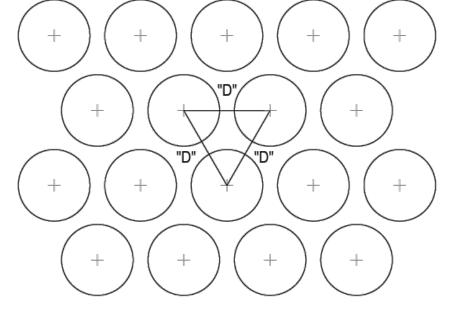
PREVAILING

WINDS

TREE PLANTING

SCALE: NOT TO SCALE

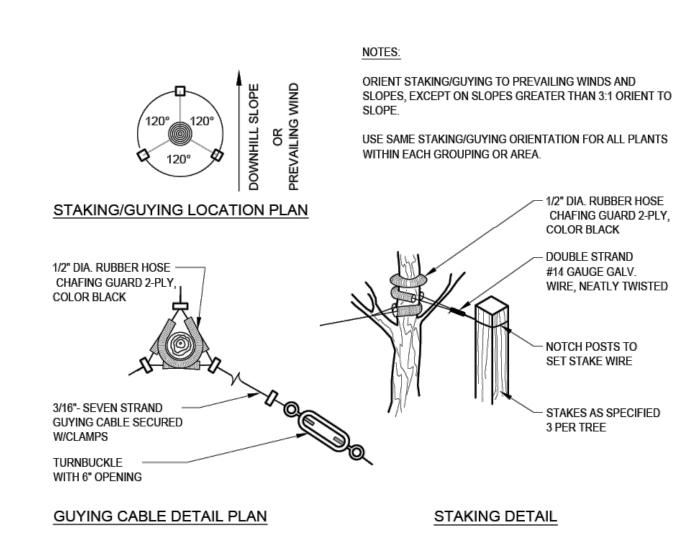




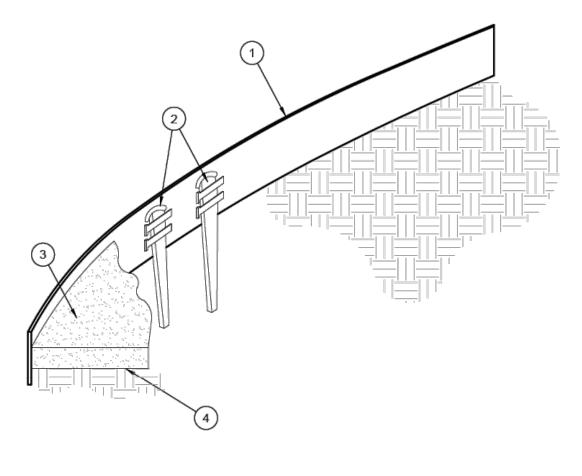
D=DIMENSION OF PLANT SPACING (SHRUB, GROUNDCOVER OR PERENNIAL) AS INDICATED ON PLANS.

OPEN LANDSCAPE

TYPICAL PLANT SPACING

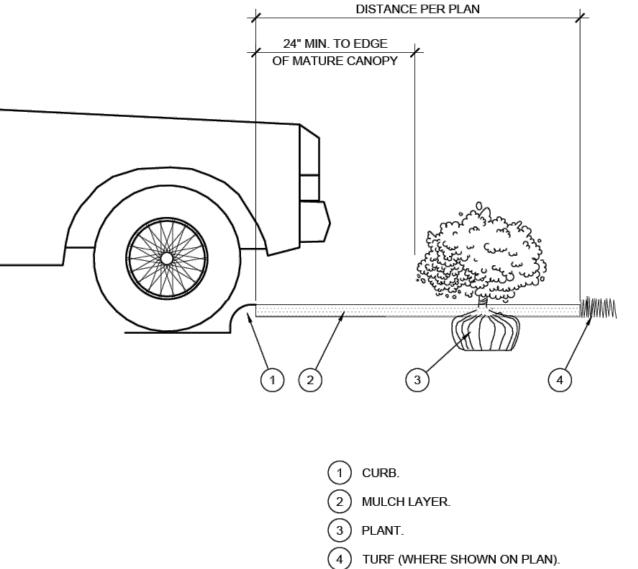






- (1) ROLLED-TOP STEEL EDGING PER PLANS.
- (2) TAPERED STEEL STAKES.
- (3) MULCH, TYPE AND DEPTH PER PLANS.
- (4) FINISH GRADE.
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
- 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
- 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

STEEL EDGING SCALE: NOT TO SCALE



PLANTING AT PARKING AREA

SCALE: NOT TO SCALE

ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE

PARKWAY OR ISLAND

1 TYPICAL WALKWAY OR PAVING

(2) TREE TRUNK 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER

MANUFACTURER'S SPECIFICATIONS.

(4) TREE CANOPY

(5) TYPICAL PLANTING AREA (6) TYPICAL CURB AND GUTTER

1) INSTALL ROOT BARRIERS NEAR

ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

> PROJECT NUMBER D2300111

> > SHEET NAME

LANDSCAPE **DETAILS**

SHARON M.

PROFESSIONAL SEAL

COPYRIGHT NOTICE

from the Professional.

This drawing is the property of the above

referenced Professional and is not to be used for any purpose other than the

specific project and site names herein,

and cannot be reproduced in any manner without the express written permission

EVERGREEN DESIGN GROUP

(800) 680-6630

100 E. Campus View Blvd., Suite 250 Columbus, OH 43235 www.EvergreenDesignGroup.com

ISSUE

12/15/2023 SITE PLAN REVIEW

12/08/2023 OWNER REVIEW SET

PROFESSIONAL LICENSE NO: LA-3901001481

PROFESSIONAL IN CHARGE Sharon M Stachecki PROJECT MANAGER

QUALITY CONTROL DRAWN BY

SS/AM PROJECT NAME



OIL CHANGE 4448 E. BLUEGRASS RD MT. PLEASANT, MI 48858

PLANTING SPECIFICATIONS

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL
- SCOPE OF WORK
 - WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND
 - COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

- ALL MANUFACTURED PRODUCTS SHALL BE NEW
- CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND
- WITH SIMILAR CLIMACTIC CONDITIONS. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR
- GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS). TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND.
- BARE-ROOT TREES ARE NOT ACCEPTABLE. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE
- LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE
- ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES
- EXCEEDING FOUR INCHES IN CALIPER. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN
- COMPLETELY COVERED, SHALL BE REJECTED. C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE
- COMPOSITION OF THE SOD. D. SEED: PROVIDE CERTIFIED BLUEGRASS/FESCUE/PERENNIAL RYE SEED MIX, APPLIED AT THE RATE OF 7 LBS/1000 SF, PLS. SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "RULES FOR TESTING SEEDS" FOR PURITY AND
- GERMINATION TOLERANCES.
- DELIVER SEED IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME, AND ADDRESS OF PRODUCER, STORE IN A DRY, ENCLOSED LOCATION TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN
- PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF
- TREES AND SHRUBS.
- TREE STAKING AND GUYING
- STAKES: 6' LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
- STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE
- PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- MAINTENANCE EDGE AGGREGATE: ANGULAR TO SUB-ANGULAR BASALT, 3/4-INCH DIAMETER, WASHED, OR APPROVED EQUAL.
- FILTER FABRIC: SYNTHETIC, NON-WOVEN GEOTEXTILE FABRIC, WEIGHING 2 TO 4 OUNCES PER SQUARE YARD WITH A MINIMUM GRAB TENSILE STRENGTH OF 35 POUNDS AND PERMEABILITY OF 0.03 CM/SEC.

METHODS

BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES

- SOIL TESTING:
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
- THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
- THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM
- FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO
- THE OWNER WITH THE REPORT.
- FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING: a. TREES: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER
- NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F.
- 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER CU. YD.
- "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE
- IRON SULPHATE 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM
- STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL
- TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER
- MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES,
- AFTER INSTALLING SOIL AMENDMENTS. IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE
- NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ONCE SOIL PREPARATION IS COMPLETE. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS. TRASH. OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE
- APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES. AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
- WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S
- RECOMMENDED RATE. TRENCHING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH
 - SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING
- THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE
- CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE
- SURROUNDING GRADE. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO
- THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO
- THE FOLLOWING GUIDELINES: a. 1"-2" TREES TWO STAKES PER TREE
- THREE STAKES PER TREE b. 2-1/2"-4" TREES
- TREES OVER 4" CALIPER GUY AS NEEDED
- d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).

SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.

PENETRATION INTO THE SOIL BELOW THE SOD.

- LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN
- LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
- DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF

G. CLEAN UP

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY
- LEGALLY DISPOSE ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE
- OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR
- SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP. AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER. WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

This drawing is the property of the above

referenced Professional and is not to be used for any purpose other than the specific project and site names herein, and cannot be reproduced in any manner without the express written permission from the Professional.



ISSUE 12/08/2023 OWNER REVIEW SET 12/15/2023 SITE PLAN REVIEW

PROFESSIONAL SEAL



12/08/2023

PROFESSIONAL IN CHARGE

PROFESSIONAL LICENSE NO:

SHARON M STACHECKI PROJECT MANAGER

QUALITY CONTROL

LA-3901001481

DRAWN BY SS/AM

PROJECT NAME



4448 E. BLUEGRASS RD MT. PLEASANT, MI 48858

OIL CHANGE

PROJECT NUMBER D2300111

SHEET NAME

LANDSCAPE **SPECIFICATIONS**

VICINITY MAP - NOT TO SCALE

EXHIBIT "A" LEGAL DESCRIPTION

Land Situated in the State of Michigan, County of Isabella, Township of Union.

A Parcel of land to be determined from the following:

Part of the Southwest 1/4 and part of the Southeast 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 1568.51

from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line,1062.06 feet; thence South 02 deg. 35' 08" West, 1158.58 feet; thence South 87 deg. 15' 30" East, parallel with said East-West 1/4 line, 935.88 feet; thence South 02 deg. 54' 01" West, 353.63 feet; thence North 87 deg. 15' 30" West, 576.12 feet; thence South 02 deg. 54' 01" West, parallel to the North-South 1/4 line, 1156.25 feet to the South Section line;

thence North 87 deg. 01' 00" West, along said South Section line, 326.65 feet to the South 1/4 corner of said Section 26; thence North 87 deg. 04' 43" West, along said South section line, 804.49 feet to the North right of way line of US-127

B.R.; thence along said North right of way line of US-127 B.R., 333.76 feet along a 3684.72 foot radius curve to the right, having a long chord bearing of North 52 deg. 52' 41" West, 333.64 feet; thence North 02 deg. 24' 38" East, 2476.47 feet back to the Place of beginning.

Except the following parcels:

1. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 351.25 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 921.02 feet; thence South 87 deg. 24' 52" East 978.18 feet; thence North 02 deg. 35' 08" East 921.00 feet; thence North 87 deg. 24' 52" West 980.99 feet back to the place of beginning.

2. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 1568.51 feet and South 02 deg. 24' 38" West 1272.26 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 24' 38" West 757.49 feet; thence South 87 deg. 24' 51" East 843.61 feet; thence 274.87 feet along a 260.00 foot radius curve to the left, having a long chord bearing of North 32 deg. 52' 18" East 262.25 feet; thence North 02 deg. 35' 08" East 531.04 feet; thence North 87 deg. 24' 52" West 978.18 feet back to the Place of Beginning.

3. Parcel A: Part of the West 20 acres of the Southeast 1/4 and that part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as:

Beginning South 87 deg. 14' 35" East, along the East-West 1/4 line, 2630.59 feet and South 02 deg. 35' 08" West, 1539.79 feet from the West 1/4 corner of said Section 26; thence continuing South 02 deg. 35' 08" West, 260.33 feet; thence 163.23 feet along a 340.00 foot radius curve to the right, having a long chord bearing of South 16 deg. 20' 21" West, 161.67 feet; thence 51.20 feet along a 38.00 foot radius curve to the left, having a long chord bearing of South 08 deg. 30' 15" East, 47.41 feet; thence South 47 deg. 06' 04" East, 79.22 feet; thence North 02 deg. 24' 38" East, 27.49 feet; thence South 87 deg. 35' 22" East 89.50 feet; thence South 02 deg. 24' 38" West, 103.89 feet; thence South 47 deg. 06' 04" East, 41.29 feet; thence 226.75 feet along a 460.00 foot radius curve to the left, having a long chord bearing of South 61 deg. 13' 23" East 224.46 feet to the East line of the West 20 acres of the Southeast 1/4; thence North 02 deg. 54' 01" East, along said East line of the West 20 acres of the Southeast 1/4, 717.08 feet; thence North 87 deg. 24' 52" West, 357.67 feet back to the place of beginning.

4. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet: thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet to the true place of beginning of the following described right of way; thence 72.65 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet; thence North 37 deg. 36' 16" East, 302.04 feet; thence 297.48 feet along a 310.00 foot radius curve to the right, having a long chord bearing of North 65 deg. 05' 43" East, 286.19 feet; thence South 87 deg. 24' 51" East, 152.13 feet; thence 191.82 feet along a 543.50 foot radius curve to the left, having a long chord of North, 82 deg. 28' 30" East, 190.83 feet; thence 95.63 feet along a 340.00 foot radius curve to the left, having a long chord bearing of North 62 deg. 31' 58" East, 95.31 feet; thence North 35 deg. 00' 12" West, 80.00 feet back to the Place of Beginning.

5. Part of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, Michigan, described as: Commencing at the West 1/4 corner of Section 26, Town 14 North, Range 4 West; thence South 87 deg. 14' 35" East along the East-West 1/4 line, 2550.58 feet to the West right of way line of Encore Blvd.; thence along said West right of way line of Encore Blvd. on the following two courses: thence South 02 deg. 35' 08" West, 1800.32 feet; thence 234.74 feet along a 260.00 foot radius curve to the right, having a long chord bearing of South 28 deg. 27' 00" West, 226.85 feet; thence along the Northerly right of way of a proposed permanent 80 foot wide right of way on the following five courses: 72.65 feet along a 260.00 foot radius cure to the right, having a long chord bearing South 62 deg. 19' 11" West, 72.42 feet; thence 162.31 feet along a 463.50 foot radius curve to the right, having a long chord bearing of South 82 deg. 33' 13" West, 161.49 feet; thence North 87 deg. 24' 51" West, 152.13 feet; thence 374.25 feet along a 390.00 foot radius curve to the left, having a long chord bearing of South 65 deg. 05' 43" West, 360.05 feet; thence South 37 deg. 36' 16" West, 300.23 feet to the Northerly right of way line of U.S. 127 B.R.; thence 80.02 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 51 deg. 06' 12" East, 80.02 feet to the true Place of Beginning of the following described clear vision right of way; thence continuing along said Northerly right of way line of U.S. 127 B.R. 200.62 feet along a 3684.72 foot radius curve to the left, having a long chord bearing of South 53 deg. 17' 07" East, 200.60 feet; thence North 07 deg. 40' 11" West, 282.31 feet to the Southerly right of way line of a proposed permanent 80 foot wide right of way; thence South 37 deg. 36' 16" West, along said Southerly right of way line, 201.78 feet back to the place of beginning.

Also excepting therefrom the following described parcel:

Part of the Northeast 1/4 of the Southwest 1/4 of Section 26, Town 14 North, Range 4 West, Union Township, Isabella County, State of Michigan, described as: Beginning South 87 deg. 14' 35" East along the East-West 1/4 line, 2288.73 feet from the West 1/4 corner of said Section 26; thence continuing South 87 deg. 14' 35" East, along said East-West 1/4 line, 261.85 feet to the West right of way line of Encore Drive; thence South 02 deg. 35' 08" West, along said West right of way line of Encore Drive, 348.33 feet; thence North 87 deg. 24' 52" West, 261.85 feet; thence North 02 deg. 35' 08" East, parallel to said West right of way line of said Encore Drive, 349.11 feet back to the place of beginning, as deeded in Liber 1525, Page 430, and corrected in Liber 1526, Page 837, Isabella County Records.

AS-SURVEYED

Situated in the County of Isabella, State of Michigan, Township 14 North, Range 4 West, part of the northeast quarter of the southwest quarter of Section 26, Outlot 2, and being part of a parcel conveyed to Mount Pleasant Holdings Inc. (Liber 1520, Page 221) and being more fully described as follows:

COMMENCING at the west quarter corner of Section 26 and a 3" disc in a monument box found in the centerline of E. Blue Grass Road (public) (66');

Thence South 89°42'56" East, along the east and west quarter Section line and said centerline of E. Blue Grass Road, a distance of 2056.66 feet to the TRUE PLACE OF BEGINNING;

Thence South 89°42'56" East, continuing along the east and west quarter Section line and said centerline of E. Blue Grass Road, a distance of 232.07 feet to the northwesterly corner of a parcel conveyed to Members First Credit Union;

Thence South 00°06'35" West, along the westerly line of said Members First Credit Union parcel, a distance of 349.11 feet to the southwesterly corner of said Members First Credit Union parcel, a point on the northerly line of a parcel conveyed to Wal-Mart Real Estate Business and a mad nail found, passing a 1/2" rebar with a

Thence North 89°53'09" West, along said northerly line of said Wal-Mart Real Estate Business parcel, a distance of 231.71 feet to a 1/2" rebar with a "PS 27595"cap found;

Thence North 00°03'03" East, through said Mount Pleasant Holdings Inc. parcel, a distance of 349.80 feet, passing a 1/2" rebar with a "PS 27595" cap found at 316.74 feet, to the TRUE PLACE OF BEGINNING and containing 1.8603 acres, more or less, as surveyed by Steven W. Clutter, PS 7655, for and on behalf of CESO, Inc. in July 2023.

All deed references are from the Isabella County Recorder's records.

The basis of bearings for this description is Michigan State Plane South Zone (NAD 83, 2011) derived from GPS Observations.

SCHEDULE B - SECTION II

Items 1 - 9
- NOT A MATTER OF SURVEY

- 10. Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy) Recording No: Liber 171, Page 523 LOCATION CANNOT BE DETERMINED FROM RECORD DOCUMENT. EASEMENT IS BASED ON THE LOCATION OF THE SOUTHWESTERLY LINE OF THE ANN ARBOR RAILROAD RIGHT-OF-WAY. LOCATION OF THE ANN ARBOR RAILROAD CANNOT BE DETERMINED.
- 11. Intentionally Deleted
- Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document: In favor of: Union Township Recording No: Liber 642, Page 503

 NOT ON SURVEYED PROPERTY
- Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document: In favor of: Charter Township of Union Recording No: Liber 1083, Page 165
 PLOTTED AND SHOWN ON SURVEYED PROPERTY
- Easements with Covenants and Restriction Affecting Land Recording Date: December 16, 2005 Recording No.: Liber 1327, Page 250
 BLANKET IN NATURE

First Amendment to Easements with Covenants and Restriction Affecting Land Recording Date: April 24, 2006
Recording No.: Liber 1344, Page 297
- BLANKET IN NATURE

Second Amendment to Easements with Covenants and Restrictions Affecting Land Recording Date: June 14, 2022 Recording No.: Liber 1895, Page 4878

- Reciprocal Easement Agreement Executed by: Kohl's Michigan, L.P. and Bluegrass Investment Group, LLC Recording Date: April 24, 2006 Recording No.: Liber 1344, Page 312
 NOT ON SURVEYED PROPERTY
- Michcon Distribution Easement
 Recording Date: July 24, 2006
 Recording No.: Liber 1356, Page 971
 - PLOTTED AND SHOWN ON SURVEYED PROPERTY

- BLANKET IN NATURE

- 17. Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document Recording No: Liber 1525, Page 406
 PLOTTED AND SHOWN ON SURVEYED PROPERTY
- Agreement Regarding Utility Extensions and Access Drive Executed by: Mount Pleasant Holdings, LLC, a Michigan limited liability company and Members First Credit Union, a Michigan state chartered credit union Recording Date: August 10, 2010 Recording No.: Liber 1525, Page 434

 BLANKET IN NATURE
- Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document:

 In favor of: Charter Township of Union
 Recording No: Liber 1561, Page 291
 PLOTTED AND SHOWN ON SURVEYED PROPERTY

SURVEYOR NOTES:

- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon we obtained through a certified title commitment conducted by Fidelity National Title Insurance Company, Commitment Number OH NCS No. GLW2300475, Local File No. GLT2300199 and bearing an effective date of April 3, 2023 at 8:00 a.m.
- Indirect access to the surveyed property is available to E. Blue Grass Road and Encore Boulevard via Liber 1327, Page 250, Liber 1525, Page 406 & Liber 1525, Page 434.
- 3. No roadway improvement plans were disclosed to CESO during the survey.
- 4. The utilities shown are located from field survey information, Underground Detective Utility Locate Scan and/or existing drawings supplied by client (MISSDIG 811 Ticket # 2023070500236). The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
- Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 26073C0309D, effective date: 2/5/2014 published by the Federal Emergency Management Agency.
- 6. There are 0 regular sparking spaces & and 0 handicap spaces on the subject parcel.
- The closest intersection is E. Blue Grass Rd. & Encore Blvd. located approximately 320 feet East of the site.
- There was no observed evidence of current earth moving work, building construction or building additions at the time of this survey.
- No proposed changes in street right of way lines were provided to the surveyor. No evidence of street or sidewalk construction or repairs observed at time of survey.

ZONING REPORT

- Zoning report provided by: NDDS National Due Diligence Services Project No: 2318440-45627
- Dated: April 28, 2023
- Zoning District

 -B-5: Highway Busuness
- Adjacent Property Zoning
 -North: ROW: E Blue Grass Rd
 -South: B-5: Highway Business
 -East: B-5: Highway Business
 -West: B-5: Highway Business
- Building Setback Requirements
 Min. Front from Street: 50' *
 Min. Corner Side: 50' *
 Min. Interior Side: 20'
 Min. Roar: 25'
- Min. Rear: 25'

 * Off-street parking shall be permitted to occupy a portion of the required front yard, provided that there shall be maintained a minimum landscape setback of ten (10) feet between the nearest point of the off-street parking and the nearest road right-of-line as indicated on the Master Thoroughfare Plan.
- Height Restrictions
 Maximum Height:

Required: 35 feet
Maximum Stories None stated

- Area Requirements
 Minimum Lot Area: 16,000 sq.ft.
 Minimum Lot Width
 (at building line): 100 feet
 Minimum Lot Frontage
- Minimum Lot Frontage (at right-of-way): None stated
- <u>Density Requirements</u>
 Maximum Floor Area Ratio:
- Required: None stated

 Maximum Dwelling units
 per Acre: None stated
- Maximum Lot Coverage (for building):

 Required:

 Minimum Lot Coverage (impervious):
- Minimum Lot Coverage (impervious):
 Required:
 None Stated
- Parking Use Category: Automobile Repair Shop or Garage, if all operations are conducted in an enclosed building Parking Space Formula: 1 space/employees based on the largest daily work shift, plus adequate off-street parking for visitors and for vehicles awaiting service or pick-up, based on anticipated use.

SURVEYOR'S CERTIFICATION:

TO: Valvoline LLC, a Delaware limited liability company, and Fidelity National Title Insurance Company

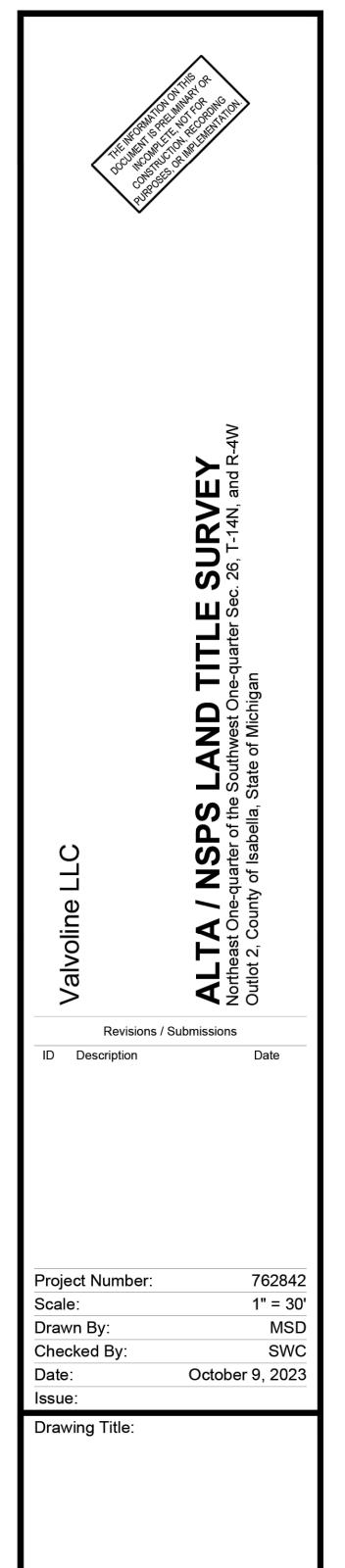
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 11(a)(b), 13, 14, 16, 17, 18, & 20 of Table A thereof. The fieldwork was completed on July 18, 2023

Date of Plat or Map October 9, 2023

(517)622-3000

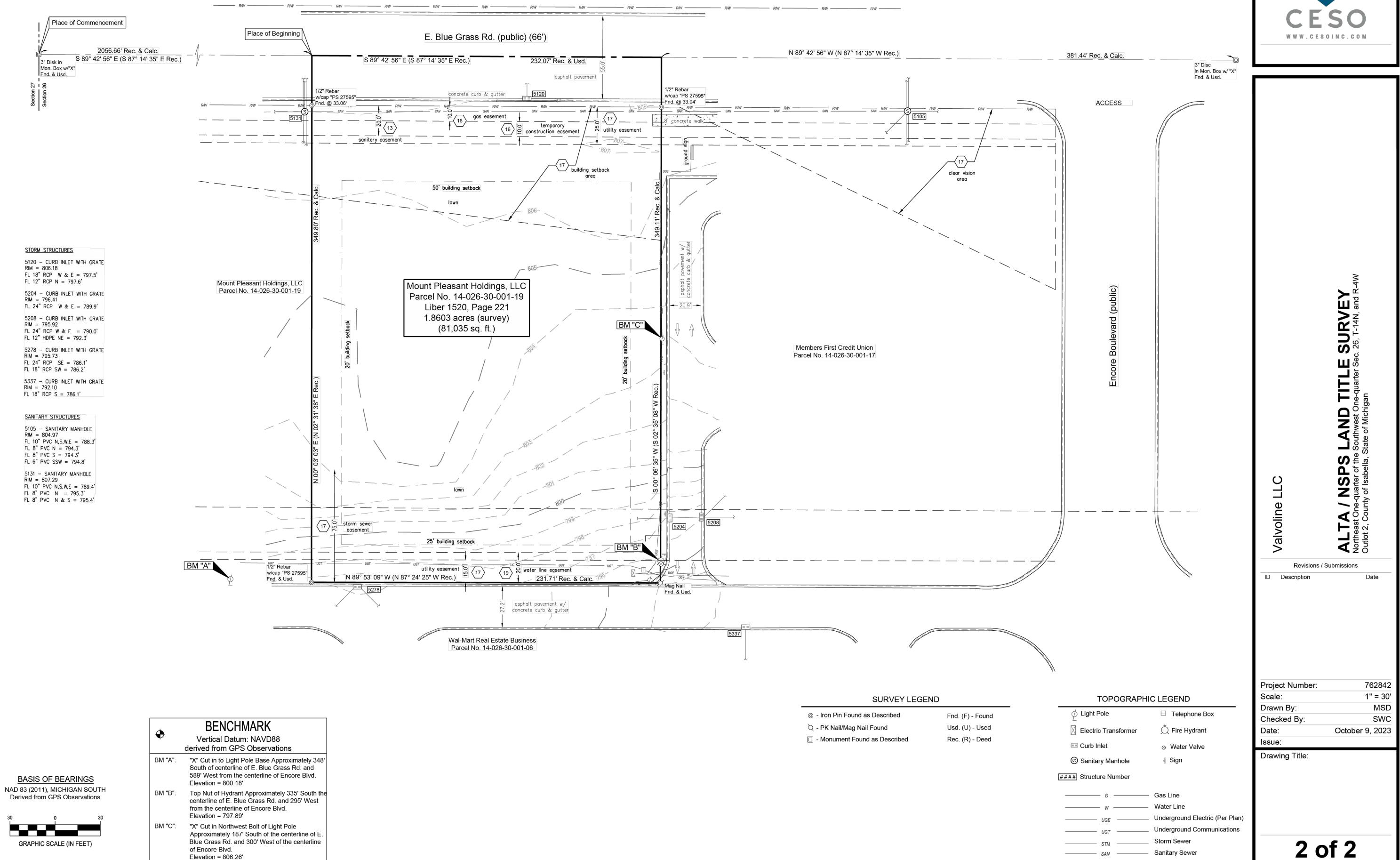
Robert E, Matko PS No. 54055 Date matko@cesoinc.com
13060 South US Highway 27
Suite D
Dewitt, Michigan 18820





1 of 2





Charter Township Of Union

Community and Economic Development Department

2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 241

PRELIMINARY SITE PLAN REPORT

TO: Planning Commission DATE: January 8, 2024

FROM: Peter Gallinat Zoning Administrator **ZONING:** B-5, Highway Business District

PROJECT: PRESPR23-03 Preliminary Site Plan approval – Proposed Valvoline Instant Oil

Change facility. A 3,224-square-foot building with two bays.

PARCEL(S): PID 14-026-30-001-19

OWNER(S): Mount Pleasant Holdings LLC (Buyer: Lormax Stern Dev. Co.)

LOCATION: Approx. 1.86 acres located at E. Bluegrass Road. in the SW 1/4 of Section 23.

EXISTING USE: Vacant lot **ADJACENT ZONING:** B-5

FUTURE LAND USE DESIGNATION: *Commercial/Light Industrial*: While currently more auto-centric, [the Bluegrass Center] area has the potential to transition into a more walkable, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.

ACTION: To approve the PRESPR23-03 preliminary site plan dated 12/15/2023 for a 3,334 square-foot Valvoline Instant Oil Change facility with two bays on the south side of E. Bluegrass Rd. west of Encore Blvd. in the SW 1/4 of Section 26 and in the B-5(Highway Business) District.

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission "shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas." Planning Commission approval of a final site plan "constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met" (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Background Information

This site was originally planned as part of the larger Union Commons development, and is served by the regional private stormwater management system created for Union Commons and still managed by the developer. Four (4) development parcels were planned along the E. Bluegrass Rd. frontage but not divided until much later when one (1) outlot was created for what is now the Members First Credit Union site on the southwest corner of E. Bluegrass Rd. and Encore Blvd.

Proposed Development Parcel Comments

In 2023, the remaining vacant land was split into three (3) parcels by the owner, Mount Pleasant Holdings, LLC. The Valvoline development parcel (PID 14-026-30-001-19) is located immediately west of the Members First Credit Union. Contingent upon site plan approvals, the Valvoline parcel would be purchased by the Lormax Stern Development Company, which would then lease the entire parcel to Valvoline.

The existing parcel is approximately 232 feet in width. Approximately 116 feet of the parcel width is currently proposed to be used by Valvoline. There are no current plans by Valvoline or Lormax to utilize the remainder of the parcel. This arrangement is inefficient and is not consistent with the intent of the Bluegrass Center Area as described in the Township's Master Plan. The remaining vacant portion as currently planned does not appear to have sufficient width to support additional commercial development. Staff recommends that the landowners consider a boundary adjustment to incorporate the undeveloped land into an expanded vacant parcel to the west. Staff further recommends that the Valvoline development plan be adjusted to maximize the development potential of the subject parcels.

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

- 1. **Section 14.2.P. (Required Site Plan Information).** Except for details noted elsewhere in this report that could be addressed by the applicant on the final site plan for this project, the site plan can conform to the minimum Section 14.2.P. information requirements for a preliminary site plan. However, it is noted by staff that the site plan sheet numbering is inconsistent, making references more of a challenge. The following should be addressed by the applicant on the final site plan:
 - Revise the photometric plan and ALTA survey sheets included in the final site plan to include sheet numbering that is consistent with the rest of the plan set.
- Section 8 (Environmental Performance Standards). The hazardous substance reporting form and EGLE permit checklist form are included in the application materials. Both have been completed. CONFORMS
- 3. **Section 4 (Building Location and the E. Bluegrass Rd. frontage).** The proposed building location is set well back from the E. Bluegrass Rd. frontage, far in excess of the minimum required 20.0-foot front yard setback for the B-5 zoning district. As noted on the ALTA Survey (sheet 2 of 2 in the site plan set), there is a private "building setback" easement on the lot that appears to be designed to protect views of the Union Commons sign at Encore Blvd. The following should be addressed by the applicant on the final site plan:
 - ☐ To make the most efficient use of the lot possible, staff recommends that the building location be adjusted to directly abut this private easement line.

		Consistent with the intent of the Bluegrass Center Area as described in the Master Plan and to make efficient use of the land, staff recommends that the applicant consider adding pedestrian amenities or other site design elements within the private easement area of the front yard that would improve visibility for the proposed business from the roadway and provide an amenity for employees.
4.	red spa tot sou ais	ction 9 (Off-Street Parking, Loading Requirements). An instant oil change shop quires 3.5 parking spaces per service bay (including the service bay space), plus (1) ace per employee based on the largest daily work shift. The plan on sheet A-1 shows a rail of four (4) stacking spaces outside of each bay with nine (9) additional spaces to the 1.0 the One (1) barrier-free (ADA) parking space is provided along with the required access le and striped crosswalk to the building. A total of 15 parking spaces are proposed. Le following details will need to be provided on the final site plan:
		Correct the parking formula calculations on sheet A-1 and C-1 from 1.5 spaces per bay to the minimum required 3.5 spaces required per service bay.
		Staff recommends that the applicant consider only having seven (7) spaces to the south that are wider than the nine (9) proposed and of a uniform width. The current plan shows varying space widths. This project only requires 13 parking spaces total, of which six (6) are covered by stacking spaces and two (2) service bays. If reconfigured, this arrangement could help accommodate larger vehicles.
		Correct the barrier-free (ADA) parking space width to match the width shown for the other parking on the final site plan, and correct the information on the barrier-free (ADA) parking detail to be consistent with what is depicted on the plan.
		Add the required loading space that is accessible by and designed to accommodate the size and height of delivery vehicles typically utilized by the establishment (as noted and delineated on the site plan), in a manner and location that does not interfere with pedestrian or vehicular traffic.
5.	dri	ction 9.6.C (Access Management, Service Drive). The site will be utilizing two service ves to and from the site (the plan notes these as "Access Roads"). The following details I need to be provided on the final site plan:
		Revise all plan sheets to change labels from "Access Roads" to the more accurate "Service Drives" in accordance with Section 9.6.C.
		If a boundary adjustment is made (as recommended above under "Proposed Development Parcel Comments"), then provide details for the required cross-access easement agreement for the proposed service drive on the final site plan.
6.	coi coi Fir	ction 7.10 (Sidewalks and Pathways). The plan provides for an 8-foot-wide sidewalk nection from E. Bluegrass Road to the business. A sidewalk has been proposed to be estructed along the entire parcel that matches the sidewalk to the west at Members at Credit Union. The following details will need to be provided on the final site plan: Identify the width of the sidewalk along E. Bluegrass Road. The plan shows that it

- matches the sidewalk on Members First Credit Union, but a width is not given (the width of 8-feet for the connector sidewalk is noted on the plan).
- 7. **Section 7.14 (Trash Removal and Collection).** A 10-foot, 8-inch by 17-foot dumpster enclosure is proposed in the rear yard south of the building. There is a 10-foot by 10-foot concrete pad proposed in front of the dumpster enclosure. Both a dumpster and recycle bin are proposed inside the enclosure. The enclosure will match the proposed building brick, stone and mortar. The Enclosure will be seven (7)-feet in height. **CONFORMS**

<u>Additional Comments - Looking Ahead to the Final Site Plan</u>

8.	the	ction 10 (Landscaping and Screening). Detailed landscape plans are not required at preliminary site plan stage, but the applicant has provided a preliminary plan for riew. The following details will need to be added to the final site plan:
		Add one (1) more shade tree. The plan notes one (1) shade tree required per five (5) spaces, with two (2) trees shown on the plan. Car stacking and service bay spaces are considered part of the required parking, so a minimum of three (3) shade trees are required for 15 spaces.
		Add one (1) more shrub. The plan provides for 23 shrubs, but the Zoning Ordinance standards as applied to this site require a minimum of 24 shrubs.
		Correct the term "street tree" to deciduous trees to differentiate with the ornamental trees required. $ \\$
		Off-street parking areas containing greater than ten (10) spaces shall incorporate at least thirty (30) square feet of interior landscaping per parking space. Interior parking lot landscaping shall include the following: Internal islands and medians, Landscaped areas surrounded on three sides by a parking area (i.e., peninsulas or fingers), Landscaped areas at the corners of a parking area and bordered by parking on at least two sides. The current plan will require 450-square-feet for interior landscaping. The interior turf landscaping to the east of the building could be considered but needs to be identified as such with the square-footage total labeled (see section 10.2.F).
		Please note that for the purposes of this report, staff only considered the developed portion for landscaping requirements. If no boundary adjustment is made (as recommended above under "Proposed Development Parcel Comments"), the site landscaping will need to be adjusted to account for the lineal road frontage of the entire parcel and not just the portion that is being developed.

- □ Correct the plan to show the freestanding pole lighting at a maximum of 22-feet in height measured from the ground level to the centerline of the light source, as required per Section 8.2.E. (Height).
- ☐ Revise the font size or otherwise adjust the photometric plan and lighting specifications to be legible on the 11-inch by 17-inch plan set. If needed, consider separating the photometric plan and specifications on two (2) sheets.
- 10. **Outside agency approvals.** The applicant is responsible for obtaining all necessary outside agencies permits or approvals prior to submittal of a final site plan application, including from Gourdie Fraser for Storm Water Management, Isabella County Transportation Commission, Township Public Services, Isabella County Road Commission, and the Mt. Pleasant Fire Department.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

- ☐ The proposed project as designed does not appear to maximize efficient use of the land. A boundary adjustment and relocation of the building forward on the lot should be considered to avoid waste and maximize the development potential of the E. Bluegrass Rd. parcels.
- ☐ With the exception of details and recommended changes that can be addressed by the applicant on the final site plan, the plan substantially conforms to Section 14.2.P. (Required Site Plan Information) and Section 14.2.S. (Standards for Site Plan Approval) for a preliminary site plan.

Recommendations

Based on the above findings, I recommend approval of the PRESPR23-03 preliminary site plan application, subject to any conditions the Planning Commission may choose to add related to the building location on the lot.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat – Zoning Administrator

<u>Draft Motions</u>: PRESPR 23-03 Preliminary Site Plan Review Application Valvoline Instant Oil Change

MOTION TO APPROVE THE PRELIMI	INARY SITE PLAN AS PRESENTED	:
Motion by	dated December 15, 2023 for a 3 n the south side of E. Bluegrass d in the B-5 (Highway Business) z icable Zoning Ordinance requiress	3,334 square-foot Valvoline Instant Road west of Encore Blvd. in the coning district, finding that the site ements for preliminary_site plan
MOTION TO APPROVE THE PRELIMI	INARY SITE PLAN WITH CONDITION	ONS:
Motion by	dated December 15, 2023 for a 3 n the south side of E. Bluegrass d in the B-5 (Highway Business) ze Zoning Ordinance requirements Site Plan Information) and 14.2.5.	3,334 square-foot Valvoline Instant Road west of Encore Blvd. in the coning district, finding that the site for preliminary_site plan approval,
Commission to require that		he determination of the Planning location be adjusted forward to picted on the ALTA survey.
MOTION TO POSTPONE ACTION:		
Motion by	inary site plan dated December on the south side of E. Bluegrass and in the B-5 (Highway Busin	15, 2023 for a 3,334 square-foot s Road west of Encore Blvd. in the
MOTION TO DENY:		
Motion by	dated December 15, 2023 for a 3 n the south side of E. Bluegrass d in the B-5 (Highway Business) z cable Zoning Ordinance require	3,334 square-foot Valvoline Instant Road west of Encore Blvd. in the coning district, finding that the site ments, including Sections 14.2.P.

Charter Township of Union

	APPLICATION FOR SPECIAL USE	E PERMIT APPROVAL	
Section 14.3 (Specia	ation will contain all information required per t I Use Permits); and be accompanied by a separa In application per Section 14.02.C. (Site Plan Ag	ate minor site plan or	nor Site Plan eliminary Site Plan
Name of Proposed Dev	elopment/Project5339{i}	= Brosoway / AIRI	BNB
Common Description o	f Property & Address (if issued)		
	5339 E. BrOADWAY RD	MT. PLEASANT,	M148858
Applicant's Name(s)	Brent Corriss	,	
Phone/Fax numbers	517-763-8355	Email Curtissbe @	amail con
Address <u>5374</u>	E. COE RD	city: Shepherd	Zip: 47/83
Legal Description: 🗸	Attached Included on Site Plan	Tax Parcel ID Number(s): 14 - (013-10-032-03
Existing Zoning:	Land Acreage: , 67 Existing Use(s)	: Residential	
ATTACHED: Letter d	escribing the proposed use and how it conforms t	o Section 14.3.J. (Standards for Speci	al Use Approval)
Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: Brent Curtiss 2. Address: 5374 E - CoE KD City: Shepherd Contact Person: Brent Curt	Phone: <u>6/7-7(3-}735</u> EmailState:	
Legal Owner(s) of Property.	1. Name: Brut Cyt 157 Address: 5374 E. Cof RD	Phone:	17-767-8355
All persons having	City: Dephed MI	State: MI	zip: 48883
legal interest in the	Signature: B	Interest in Property	wner/lessee/other
property must sign	2. Name: ROBIN Curtiss	Phone: 9	87-304-5834
this application. Attach a separate	Address: 5339 F. Broadway	27	
sheet if more space	City: MT. PLEASANT	State: Mi	Zip: 48858
is needed.	Signature: Rober Curte	Interest in Property	wner/tessee/other
true and accurate to the the owners of the propapproval. Approval of the Ordinance or other approval.	a all the statements, signatures, descriptions are best of my knowledge and that I am authority. False or inaccurate information may be the requested special use shall not constitute olicable codes and ordinances.	orized to file this application and e cause for revocation of the spec	l act on behalf of all
	Office Use On	i y	
Application Received B	y:	Fee Paid: \$	
Date Received:	n	Escrow Deposit Paid: \$	ij

Revised: 9/14/2020

Charter Township of Union

	APPLICATION FOR SITE PLAN	N REVIEW
[]	Minor Site Plan Preliminary Site Plan	Final Site Plan
A Completed Applicat	tion will contain all the information required per the Zo	oning Ordinance, Section 14.2 (Site Plan Review).
Name of Proposed Dev		Broadway / AIR BNB
Common Description o	f Property & Address (if issued)	/
	5339 E. BROADWAY	RD, MT. PLEASANT MI 48058
Applicant's Name(s)	BRENT CURTISS	
Phone/Fax numbers	(517) 763 -8365	Email curtissby @ gmail.com
Address <u>5374</u>	E. COE RD	city: SHEPHELD zip: 48873
		·
Legal Description:		Parcel ID Number(s): 14-013-10-032-03
Existing Zoning:	Land Acreage: . 67 Existing Use(s):	RESIDENTIAL
ATTACHED: Letter d	lescribing the project and how it conforms to Section	14.2.S. (Standards for Site Plan Approval)
Firm(s) or	1. Name: Brent Curtiss	Phone: 6/7-763-83/Email Curtissbee qual - Com
Individuals(s) who	2. Address: <u>6374 F. Coc RD</u>	1(1)
prepared site plan(s)	City: SHEPHELD Contact Person: Brent Curtiss	State: MI Zip: 9/8/9 Phone 5/7-763-8355
	Contact Person. // CAI CO 1137	Priorie 7/7-765-175
Legal Owner(s) of	1. Name: Brent Curtiss	Phone: 517-763-8365
Property.	Address: 5374 E. COE RP	
All persons having	City: SHEPHELD	State: <u>Ml</u> Zip: <u>43883</u>
legal interest in the	2115	owner/tessee/other
property must sign	Signature: Dawl	Interest in Property: owner/lessee/other Phone: 989-304-5834
this application. Attach a separate	2. Name: ROBIN CURTISS Address: 5339 E. BROADWAG	
sheet if more space	City: MT. PSEASANT	State: MI Zip: <u>48.858</u>
is needed.		
	Signature: Koken Custins	Interest in Property: owner/lessee/other
I do hereby affirm that	all the statements, signatures, descriptions, exhi	ibits submitted on or with this application are
•	ne best of my knowledge and that I am authorize	• •
	roperty. False or inaccurate information placed u	
	suant to site plan approval and/or removal of wor	
constitute the right to	violate any provisions of the Zoning Ordinance or	other applicable codes and ordinances.
0 1	1	. 10 1 0
Bull (and a	10 / 30 / 23
Sign	nature of Applicant	Date
:	Office Use Only	990
Application Received B	v:	Fee Paid: \$
- il-faring armit transming p		· · · · · · · · · · · · · · · · · · ·
Date Received:		Escrow Deposit Paid: \$

055

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

Types and Quantities of Hazardous Substances and Polluting Materials Used, **Stored or Generated On-Site**

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

NONE			COMMON NAME
U.O. = liquid P.U.Q. = pressurized liquid S. = solids G = gas PG = pressurized gas	KEY:		CHEMICAL NAME (components)
			FORM
C			MAX QUANTITY ON HAND AT ONE TIME
AGT = above ground tank DM * drums UGT = underground tank Cy = cylinders CM = metal cylinders CM * wooden or composition container TP = portable tank	KEY:		TYPE OF STORAGE CONTAINERS

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

5
lasan
× /-

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSquide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

Но	w Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes	No
1)	Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y	NQ
2)	Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Υ□	N
3)	Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
	a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Υ□	NU
	b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Υ□	N
	c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y	N
	d. Does the project involve construction of a dam, weir or other structure to impound flow?	Υ□	NM
4)	Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Υ□	NU
5)	Does the project involve the construction or alteration of a water supply system system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y	N
6)	Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff), 906-228-4527, or EGLE District Office	Υ□	NI
7)	Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program, 517-284-6541, or EGLE District Office	Y	N[Q
8)	Does the project involve the construction or modification of a campground? Union Township and DWEHD, Campgrounds program, 517-284-6529	Y	N

9)	Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste, 517-284-6588, or EGLE District Office	Υ□	N
10)	Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Y	N
Wh	no Regulates My Drinking (Potable) Water Supply?	,	
11)	I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y⊠	N
12)	I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local</u> <u>Health Department</u> , 517-485-0660	Y□	N⊠
13)	I am a community water supply (Type I) <u>Community Water Supply, DWEHD District Office</u> <u>Community Water Supply Program</u> , 517-284-6512	Υ□	N
14)	Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y	N
Wh	no Regulates My Wastewater Discharge System?		
15)	NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y	ND
16)	Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE</u> <u>District Office</u> , 517-284-5588	Y	N
17)	Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Υ□	ND
18)	Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y	N/\(\text{\tint{\text{\tin}\text{\ti}\\\ \text{\text{\text{\text{\text{\text{\text{\text{\text{\tin\tint{\text{\ti}\tint{\text{\text{\text{\text{\text{\text{\tin}\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\tin}\tint{\text{\text{\text{\text{\text{\text{\text{\ti}\text{\ti}\tint{\text{\text{\tin}\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\texi}\tint{\ti}\tittt{\text{\ti}\titt{\ti}\tinttitt{\text{\text{\text{\text{\text{\texi}\ti}\ti
W	nat Operational Permits Are Relevant to My Operation and Air Emissions?		
19)	Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section, 517-284-6634	Y	NO
20)	Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program, 517-780-7843	Y	NE
Wi	hat Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD, 517-284-6588 or EGLE District Office	Y	NE
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y□	ND
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Hazardous Waste Program Forms & License Applications</u>) MMD, <u>EGLE District Office</u> , 517-284-6562	Y	NM

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit, 517-284-6581	Υ□	NO
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD Radioactive Material and Standards Unit, 517-284-6581	Υ□	NO
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Υ□	N
What Sector-Specific Permits May be Relevant to My Business?	49	
Transporters 27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste?	Y	N
MMD, <u>Transporter Program</u> , 517-284-6562 28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> ,	Υ□	NO
517-284-6562 29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information, 517-284-6527	Υ□	NÜ
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Υ□	N
31) Do you store, haul, shred or process scrap tires? MMD, Scrap Tire Program, 517-284-6586	Υ□	NE
Sectors		1
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Υ□	N⊠
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Υ□	NO
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Υ□	ND
35) Does the project involve the operation of a campground? Union Township and DWEHD, Campgrounds, 517-284-6529	Υ□	N
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control, 517-284-5593	Y	ND/
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <u>Surface Water Assessment Section</u> , 517-331-5228	Y	ND

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit, 517-284-6826	Y	N
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program, 517-284-6826	Y	NI
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs, 517-284-6581	Y	NE
Petroleum & Mining, OGMD, 517-284-6826		_
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y	N
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Υ□	
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y	N
44) Does the project involve mining coal?	Υ□	
45) Does the project involve changing the status or plugging of a mineral well?	Y	N□
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Υ□	N

Contact Union Township and EGLE Permits & Bonding, OGMD, 517-284-6841

5339 E. Broadway Rental

Owner information

Brent Curtiss (Owner & Local Agent) 5374 E. Coe Rd Shepherd, MI 48883 (517) 763-8355; <u>curtissbg@gmail.com</u>

Property Information

5339 E. Broadway Rd Mt. Pleasant, MI 48858

Purpose

We would like to utilize our studio apartment located at 5339 E. Broadway as a special use short term rental through the Airbnb platform. The period of time shall be 1-30 nights with a maximum of 1 rental in any 4-night period.

Listing Description (posted on Airbnb site)

Centrally located, close to CMU Campus, Downtown Mt. Pleasant, & multiple golf courses. The Soaring Eagle Casino is less than 1.5 miles away, perfect for that concert or any casino event!

The Studio Apt. offers a queen bedroom set behind the privacy of the sliding barndoors. The queen air mattress located in the living room provides accommodation for up to 2 people.

The back deck is the perfect place to enjoy your morning coffee or grill out & relax in the evenings!

House Instructions (posted on Airbnb site)

The entrance and parking to the Studio is on the west side of the house and the north side of the garage. You will enter the key code provided the day of your check in. After entering your access code, press the fingerprint area pictured on the keypad. To lock the door, brush your hand across the keypad when leaving.

When checking out, please leave all towels on the floor of the shower. Bedding can remain on the bed. All dishes should be loaded in the dishwasher and the dishwasher set to clean before checking out. All trash should be placed in the Waste Management dumpster located on the west side of the studio apartment.

Pets (posted on Airbnb site)

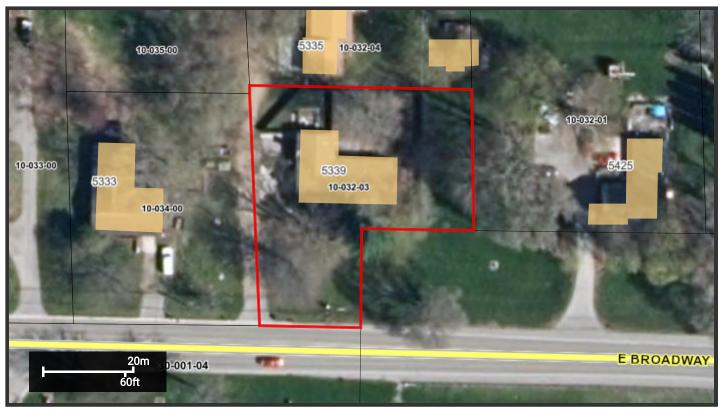
No pets are allowed in or at the studio apartment.

Noise Ordinance (posted on Airbnb site)

The Township supports a nuisance ordinance that includes but shall not be limited to outside noise that is clearly audible at a road-right-of-way or lot boundary of the premises, and that unreasonably interferes with the comfort, quiet, and repose of others in the area between 10:00pm and 7:00am on Sunday, Monday, Tuesday, Wednesday, or Thursday nights; and between 11:00pm and 7:00am on Friday and Saturday nights.



10/30/2023 8:01:21 AM



Property Address

5339 E BROADWAY RD

MT PLEASANT, MI, 48858

Owner Address

CURTISS BRENT & CURTISS ROBIN

--

5339 E BROADWAY RD

MT PLEASANT, MI 48858

Unit:	14
Unit Name:	UNION

General Information for 2023 Tax Year

Parcel Number:	14-013-10-032-03	
		064

10/30/2023, 8:01 AM EDT 1/9

Prop. Class Name: School Dist Code: School Dist Name: MT PLEASANT CITY SCHOOL DIST	Prop. Class Code:	401
	Prop. Class Name:	RESIDENTIAL-IMPROVED
School Dist Name: MT PLEASANT CITY SCHOOL DIST	School Dist Code:	37010
	School Dist Name:	MT PLEASANT CITY SCHOOL DIST

Assessed Value:	\$79,700
Taxable Value:	\$71,911
State Equalized Value:	\$79,700
Exemption Percent:	100

Prev Year Info

Prev Year Info	MBOR Assessed	Final SEV	Final Taxable
2022	\$71,800	\$71,800	\$68,487
2021	\$66,300	\$66,300	\$66,300
Land Information			
Acreage:		0.67	
Zoning:			

14N 04W 013

065

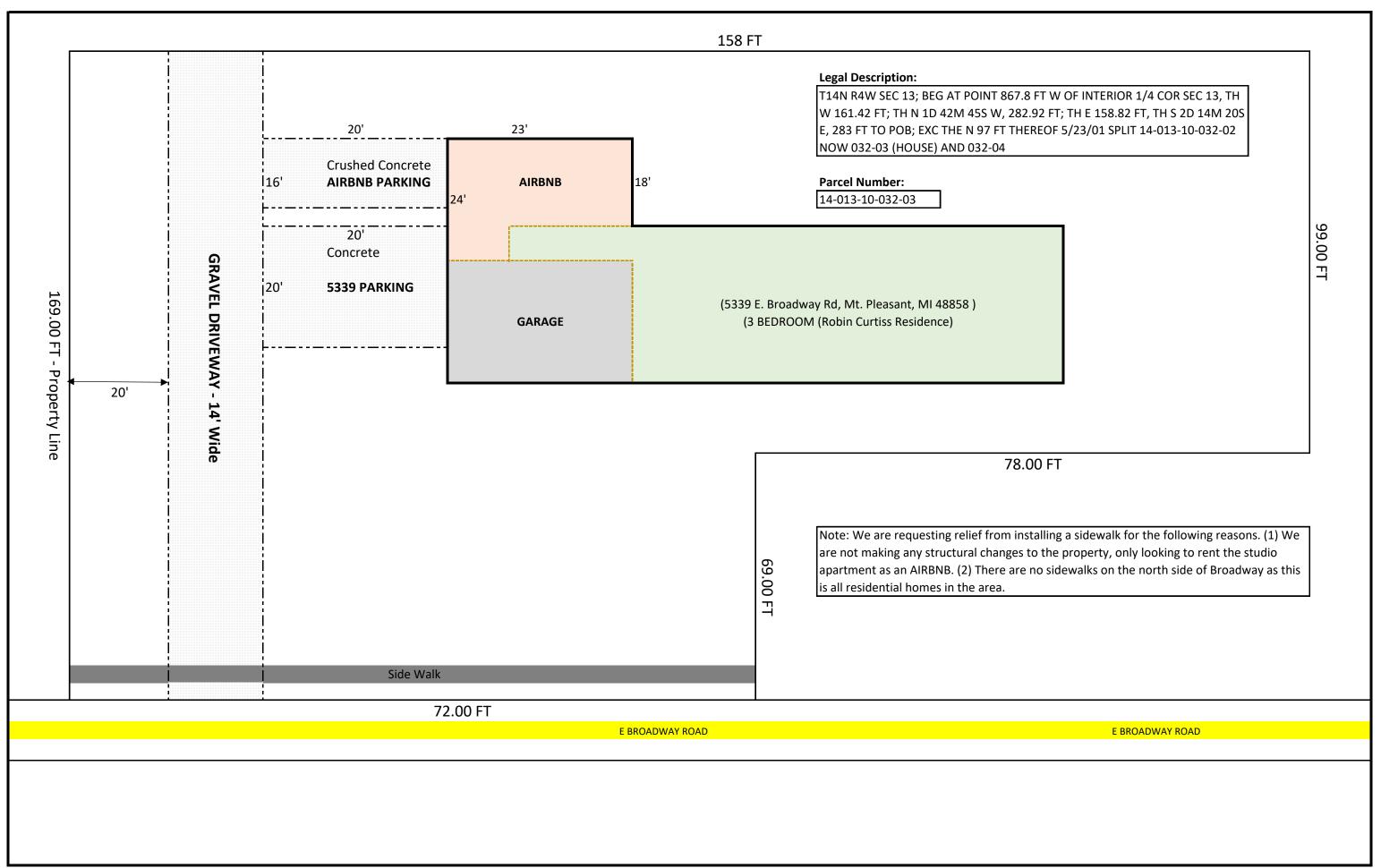
Legal Description

Town/Range/Sec

T14N R4W SEC 13; BEG AT POINT 867.8 FT W OF INTERIOR 1/4 COR SEC 13, TH W 161.42 FT; TH N 1D 42M 45S W, 282.92 FT; TH E 158.82 FT, TH S 2D 14M 20S E, 283 FT TO POB; EXC THE N 97 FT THEREOF 5/23/01 SPLIT 14-013-10-032-02 NOW 032-03 (HOUSE) AND 032-04

Sales Information

Sale Date: 08-18-2020













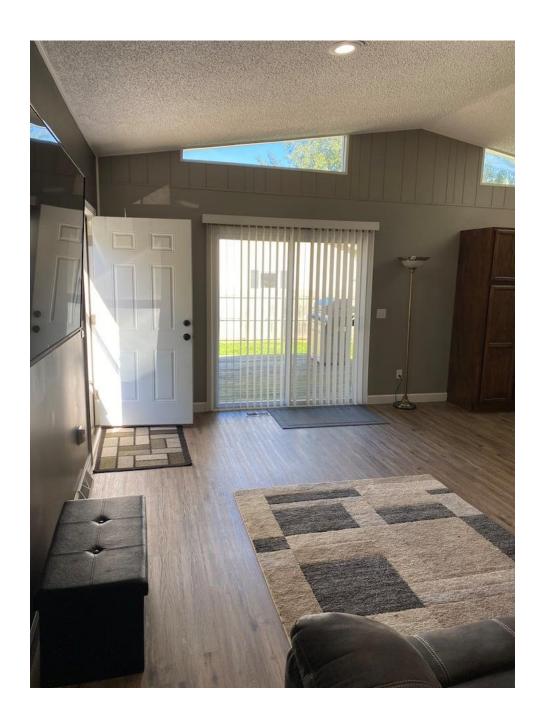


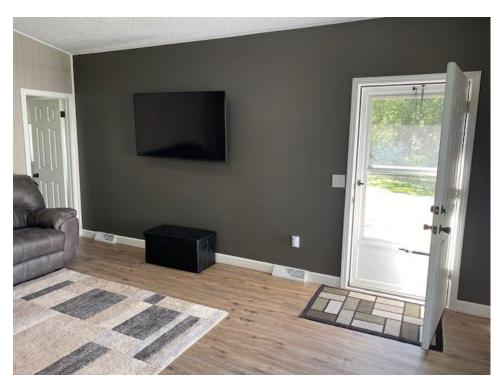








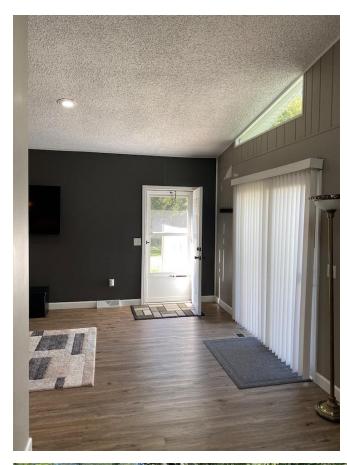














Charter Township Of Union

Community and Economic Development Department

2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

SPECIAL USE PERMIT APPLICATION PRESENTATION

TO: Planning Commission **DATE:** January 5, 2024

R-2B One and Two Family,

FROM: Peter Gallinat, Zoning Administrator **ZONING:** Medium Residential District.

PROJECT: PSUP23-01 Special Use Permit Application, Short Term Rental.

PARCEL(S): PID 14-013-10-032-03

OWNER(S): Curtiss, Brent & Robin.

LOCATION: Approximately .67 acres located at 5339 E. Broadway Road in the NW 1/4 of

Section 13.

EXISTING USE: Existing single-family dwelling **ADJACENT ZONING:** R-2B, R-4

FUTURE LAND USE DESIGNATION: Residential: This category is meant to promote single-family homes on a variety of lot sizes. With new development, subdivision design should protect open space and natural features and limit single driveways onto corridors.

ACTION REQUESTED: To present PSUP23-01 special use application for a proposed short-term rental located at 5339 E. Broadway Road in the NW ¼ Section 13 and in the R-2B (One and Two Family, Medium Residential) zoning district.

Background Information

In October of last year, it came to the attention of Township staff that the residential building at 5339 E. Broadway Road was being used for a short-term rental through AirBNB. The owner was notified that this type of use needed Township rental certification and special use permit approvals to continue. The owner/applicant met with Township staff to discuss the requirements to operate a short-term rental. The owner also considered the options of using the property as a long-term rental, but decided to pursue a special use permit for a short-term rental use.

This is the first application for a short-term rental since the special use was added to the Zoning Ordinance in 2020. For the benefit of both the applicant and the Planning Commission, it was decided by Township staff to first introduce the application to the Commission before any formal public hearing is scheduled.

Review Comments

Section 14.3J. of the Zoning Ordinance establishes the standards for special use approval. No special use permit shall be granted unless the Planning Commission makes affirmative findings of fact and records adequate data, information, and evidence showing that:

	Section 14.3.J. (Standards for Special Use Approval)	Status
1	The proposed land use is identified in Section 3 as a special use in the zoning district. Short-Term Rental Housing is listed in Section 3.9 as a special use in the R-2B (One and Two Family, Medium Density Residential District).	Conforms
2	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.	Conforms
	The proposed use conforms to this standard.	
3	The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.	Conforms
	The plan indicates the expected frequency that the unit will be rented. The plan also indicates the Township Noise Ordinance hours for quiet times.	
4	The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.	
	The special use for the short-term rental does not change the residential character of the residential property. The use provides for new housing options for visitors to the Township and the greater Mt. Pleasant area.	Conforms
	The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.	
5	 Section 6.58.A Short-Term Rental Housing: 1. General Standards. All short-term rentals shall conform to the following general standards: a. The dwelling is an allowable land use in the zoning district and there are no unresolved Township ordinance violations associated with the lot, structure or other improvements. b. The dwelling and premises shall be maintained in good repair at all times. There shall be no change in the appearance of the dwelling or premises, or other visible evidence 	Conforms
	of the rental. External and internal alterations not customary for a single-family dwelling are prohibited.	
	2. Zoning Permit Required. In addition to the required Special Use Permit approval, an annual zoning permit must be obtained from the Zoning Administrator prior to establishing a short-term rental. Annual zoning permits must be renewed each year prior to the date of permit expiration.	Can Conform
	3. Period of Time. The short-term rental may be for any period from one (1) night to thirty (30) nights. A maximum of one (1) short-term rental event shall occur in any four (4) night period.	Conforms
	4. Occupancy. The maximum occupancy for the short-term rental shall be no more than two (2) persons per bedroom lawfully established within the principal dwelling consistent with applicable Building Code requirements.	Conforms

Section 14.3.J. (Standards for Special Use Approval)	Status
5. Designation of a Local Agent. If the property owner does not qualify as, or does not desire to be, a local agent, then the property owner shall designate a local agent and authorize in writing the local agent to act as the property owner's agent for acts required of the property owner under these regulations. The local agent must reside or maintain a physical place of business within 25.0 miles of the short-term rental premises.	Conform
6. Information Updates . Notification information for the property owner and local agent shall be kept current and up to date. The Zoning Administrator shall be notified in writing within 24 hours of any changes to ownership, local agent or their contact information.	Can Conforn
 7. Parking. The number of vehicles on any premises subject to this Ordinance shall not exceed one (1) motor vehicle per lawfully established bedroom, in addition to the owner's personal vehicle(s). The owner shall provide off-street parking facilities for all owner and occupant motor vehicles, recreational vehicles, and trailers on the premises in accordance with the following requirements: a. Parked vehicles shall be located outside of any road right-of-way and shall not block or impede the use of sidewalks, pedestrian pathways, fire lanes or emergency access to the premises. Conforms b. Parking shall be limited to an accessory garage or carport, private driveway or improved offstreet parking pad adjacent to the driveway. Conforms c. Parking and associated improvements shall also conform to the requirements of Section 9 of this Ordinance and other applicable Township ordinances. Conforms 	Conforn
8. Waste Disposal. Documentation shall be submitted that occupants of the short-term rental will be notified prior to occupancy that they are not allowed to leave, and others are not allowed to leave, trash, rubbish, refuse, or garbage within public view, except in proper waste or recycling containers for the purposes of collection and disposal. No commercial dumpsters shall be allowed on the premises of a short-term rental.	Conform
 9. Safety Requirements. All short-term rentals shall conform to the following safety standards: a. Prior to any rental occupancy, the owner shall be responsible for compliance with all Building Code and Township Housing Code Ordinance requirements that apply to use of the dwelling for rental purposes. b. The street address of the premises and emergency contact phone numbers shall be clearly displayed in the short-term rental for the benefit of occupants. c. Each sleeping room shall have two (2) legal means of egress to the exterior (for example, a door and a legal egress window). d. The street address for the short-term rental shall be a minimum of four (4) inch numbers, which shall be posted both on the mailbox and on the building in a location that is clearly visible from the street. The site was pre-inspected by the Township Rental Inspector and found to be in good order. A final inspection will be required before issuance of a rental certification for the property. 	Can conform
10. Encroachments and Nuisance Conditions Prohibited. Occupants during a rental period shall not encroach on neighboring lots and shall not create a nuisance. For purposes of this subsection, a nuisance includes but shall not be limited to outside noise that is clearly audible at a road right-of-way or lot boundary of the premises, and that unreasonably interferes with the comfort, quiet and repose of others in the area between 10:00 p.m. and 7:00 a.m. on Sunday, Monday, Tuesday, Wednesday or Thursday nights; and between 11:00 p.m. and 7:00 a.m. on Friday or Saturday nights.	Conforn

Section 14.3.J. (Standards for Special Use Approval)	Status
11. Wastewater Disposal. For short-term rentals not connected to a public sewer system, the wastewater disposal system shall be properly functioning, be maintained in properly functioning condition, and examined by a commercial septic hauler a minimum of once every three (3) years to determine if the septic tank needs to be pumped out. Parcel is served by Township water and sewer.	Conforms
 12. Required Occupant Notifications. Occupants of short-terms rentals shall be provided with the following information in writing by the property owner or local agent prior to occupancy: a. The name of the property owner or any local agent responsible to perform obligations related to the short-term rental, their telephone number(s), and an email address at which that individual may be reached on a 24-hour basis. Conforms. b. The maximum number of occupants allowed at any time in the short-term rental, based on the requirements of this Section. Conforms. c. Instructions as to parking, operation of mechanical equipment and appliances, restrictions on use of the premises, and all other rules for the premises. Conforms. d. Notification that an occupant may be cited or fined by the Township, in addition to any other legal remedies available to the Township, for violation of this Ordinance. Applicant indicates Township Noise Ordinance but that should be expanded to include all Township Ordinances and the notice of being cited or fined. Can Conform. e. The requirement that all pets shall be secured on the premises or on a leash at all times. Applicant indicates that no pets are allowed. Conforms. f. The requirement that the person who rents a short-term rental shall pay any applicable sales tax and/or required Michigan Use Tax. Can Conform. g. A copy of this Section and written record of the approved Special Use Permit. Can Conform. 	Can Conform
 Section 6.58.B Application Information. The name, address, telephone numbers (home, work, and cell phone), and email address of the owner of the proposed short-term rental. Conforms. If the property owner of the proposed short-term rental does not qualify as, or does not desire to be, the local agent, then the property owner shall designate in writing a local agent. Conforms. The name, address, telephone numbers (home, work, and cell phone), and email address of the local agent, if different from the property owner. Conforms The address of the proposed short-term rental. Conforms. Parcel identification number for the proposed short-term rental. Conforms. Proof of property ownership. Conforms. Copies of any deed restrictions or use limitations in the subdivision covenants or condominium master deed and/or bylaws applicable to the short-term rental premises. Parcel not part of a subdivision or condominium. Conforms. A floor plan of the proposed short-term rental with all bedroom and bathroom locations, dimensions, and floor areas labeled. Please add detail of bedroom and bathroom locations. Can conform. The proposed frequency for rental use and maximum occupancy of the short-term rental. Conforms. 10. A survey drawing of the parcel on which the short-term rental building is located that includes all buildings and structures on the premises and the locations where motor vehicles, recreational vehicles, and trailers will be parked in accordance with this Section. Conforms. 	Can Conform

	Section 14.3.J. (Standards for Special Use Approval)	Status
6	Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.	Conforms
	The approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.	
7	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.	Conforms
	The use of the room as a short-term rental does not create any new or exceed the planned use of the dwelling in terms of public services or infrastructure.	

Objective

To review the application, to give feedback to the applicant for any missing or additional information needed, and to adopt a motion to set a date and time for a public hearing.

Key Findings

- > The applicant has submitted a special use application, accompanied by a minor site plan as required.
- The application is sufficiently complete for initial review by the Planning Commission and a public hearing.
- > Applicant has paid all required fees associated with the application.
- ➤ The applicant has completed a pre-inspection of the site with the Township's Rental Inspector.

Recommendations

Based on the above findings, I would ask that the Planning Commission to set a public hearing for February 20, 2024, for the special use application PSUP23-01 for short-term rental housing located at 5339 E. Broadway Road.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department



Community and Economic Development Department

2010 S. Lincoln Rd. Mt. Pleasant, MI 48858 989-772-4600 ext. 232

TO: Planning Commission DATE: January 10, 2024

FROM: Rodney C. Nanney, AICP, Community and Economic Development Director

SUBJECT: Update on the Township survey data and analysis

Township Survey – Preliminary Data

We recently received word from Dr. Mary Senter at Central Michigan University that the final tally of responses to the Township's survey is <u>638</u> responses to the mailed survey (a 33% response rate), plus an additional <u>89</u> online responses to our postcard mailing to residents in the apartment communities and manufactured housing parks on the south and east sides of the Township.

Dr. Senter and her team are compiling and analyzing the extensive data received, which includes both *qualitative data* (written responses to the short-answer survey questions) and *quantitative data* (numbers and rankings from our multiple-choice questions). The qualitative data received from this survey will take a significant amount of time to compile and analyze, which is why the timeline for this survey project has delivery of the final report to the Township planned for March – hopefully in time for our March Planning Commission meeting.

However, there will be an opportunity for the Planning Commission to get an early look at some of the quantitative data from the mailed survey responses. Dr. Senter and her team are currently compiling this data into a shareable format. It will not be ready in time for inclusion in the meeting packet, but we anticipate that copies will be available in time for review during our upcoming January 16th meeting.

Other Updates

We are still working on compiling an up-to-date data book of population, housing, and other demographics. The 2020 U.S. Census data is proving to be a bit of a challenge to set up in a way that creates meaningful opportunities for comparison with prior years. These will be shared with the Planning Commission as soon as they are available. We have also started work on the MDARD Rural Readiness grant-funded project to evaluate industrial development potential along the US-127 corridor in conjunction with the Township Engineer at Gourdie-Fraser Associates.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director